
RECORD FILED BY THE CITY OF SUMMERSIDE
JAMIE RODGERSON v. CITY OF SUMMERSIDE
Docket No. #LA25015

Jamie Rodgerston
106 Hallie Drive
Summerside, PE
rodgerstonconstruction@gmail.com
Appellant

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Official Plan/Zoning Bylaw Amendment Application

Applicant's name JAMIE RODGERSON

Property owner's name HARLOK HOLDINGS INC

Civic address (address of permit) PID 548610 LOCATED IN BETWEEN 169-171 POPE RD.

Mailing Address (if different) 106 HALKE DRIVE, C1N 5H3 SUMMERSIDE PE

Primary phone 902-315-4422 Secondary phone _____

Email address RODGERSONCONSTRUCTION@gmail.com

Property number PID 548610 Lot number _____



Amendment:
☐ Official Plan
☒ Zoning

Description of Project:

I AM APPLYING TO REZONE MY LAND TO ACCOMMODATE
A SENIOR HOUSING DEVELOPMENT. PLEASE FIND ATTACHED
THE PROPOSED PLANS.

MY LAND IS CURRENTLY ZONED M-1, I WOULD
BE LOOKING FOR REZONING + SPECIAL USE FOR MY
PROPERTY. THE DESIGNS ARE TO NATIONAL FIRE STANDARDS +
BUILDING CODES.

PROPERTIES TO BE RENTED INDIVIDUALLY.

I DO SOLEMNLY DECLARE:

1. That I am the Owner, or the Authorized Agent of the Owner, named in the application for a permit hereto attached.
2. That the statements contained in this application are true and made with full knowledge of the circumstances connected with the same.
3. That the site plans submitted correctly set out the dimensions and the area of the lands described in the application, and the relation of the location of the proposed building to the street and property line.
4. That I know of no reason why the permit should not be granted to me in pursuance of the said application, and making this declaration conscientiously believing it to be true.
5. I waive all rights or action against the City of Summerside and/or its officers, agents, or employees in respect to negligence or any damages which may be caused through the enforcement of any provision or provisions in any of the City Bylaws or for the revoking of a permit for any cause or irregularity of nonconformity with the Bylaws or regulations adopted by the City of Summerside.

Signature of Owner/Agent

Date

APR 18th 2024



Revision:

Jamie
Rodgersen &
Sons

Project:
Tiny Homes
Development

Sheet Title:

Cover Sheet

Client Rep:

Jamie R.

Scale:

As noted

Issue Date:

March 18 2024

Drawn By:

K.G.

Drawing:

S100

Documents:

- S100 - Cover sheet
- S101 - Site Plan
- S102 - Site Plan Renderings
- S103 - Floor Plan - 1 Story - 2 Bedroom - 16'x32'
- S104 - Side Elevations

RECEIVED

APR 08 2024

Preliminary
Not for Construction
Print on 11"x17"

RECEIVED

APR 08 2024

Revision:

Jamie
Rodgers &
Sons

Project:
Tiny Homes
Development

Sheet Title:

V1 - 1 story
- 2 Bedroom
- 16x32

Client Rep:

Jamie R.

Scale:

As noted

Issue Date:

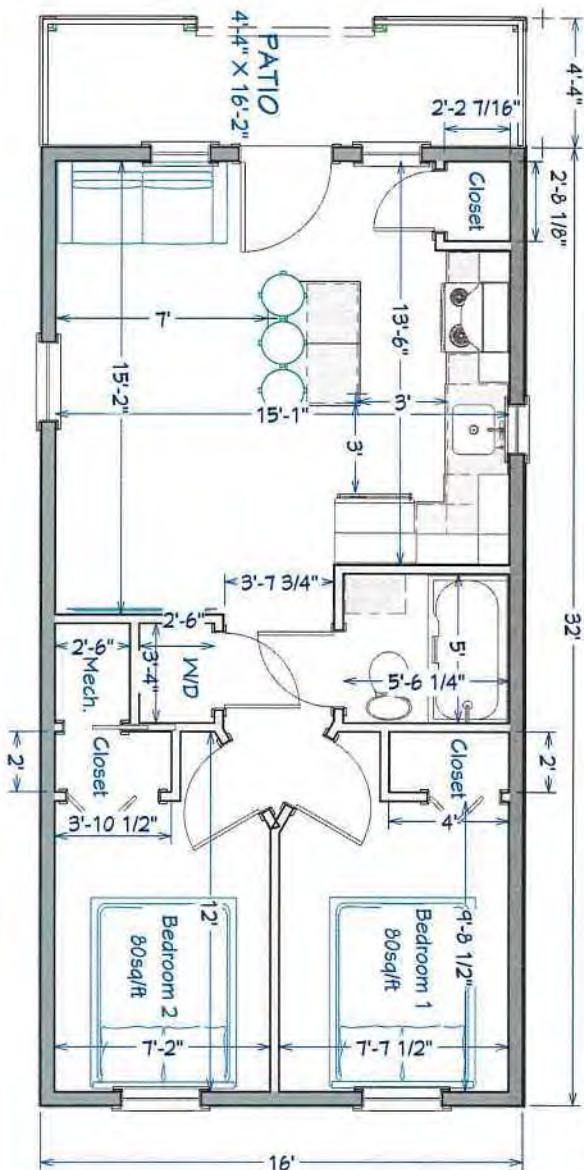
March 18 2024

Drawn By:

K.G.

Drawing:

S103



Front Elevation

Back Elevation

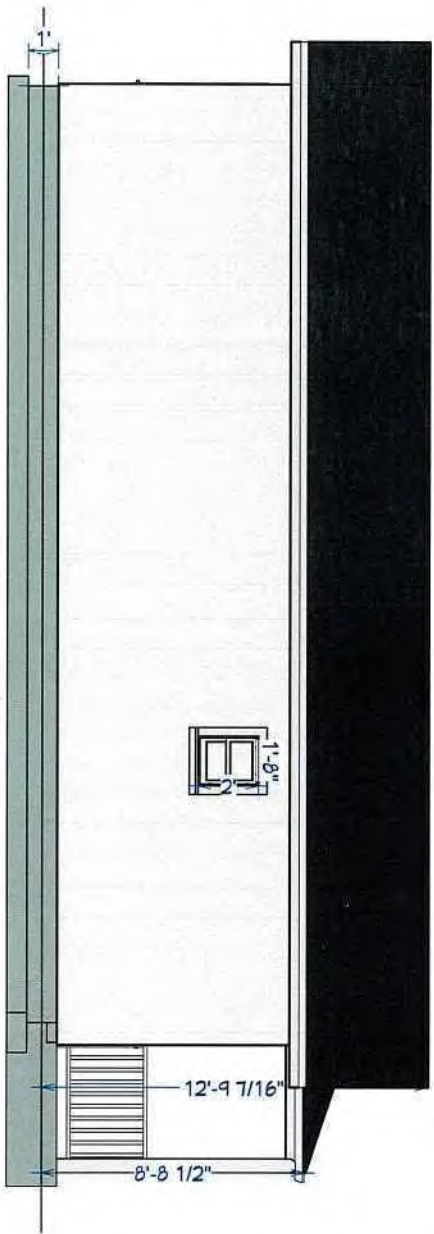
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Scale: 1/4" = 1' - 0"

RECEIVED
APR 08 2024

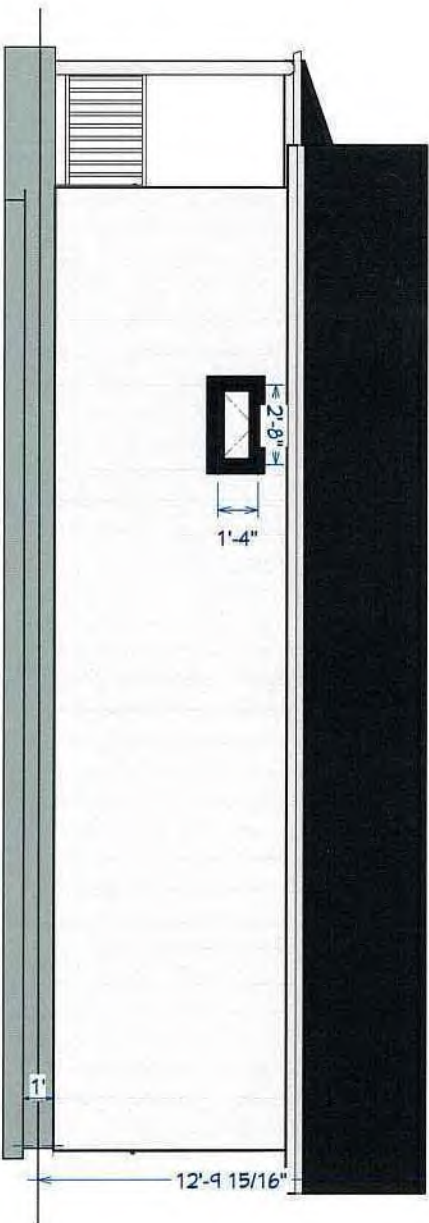
Project
Ting Homes
Development

Revision:

Jamie
Rodgersen &
Sons



Left Elevation



Right Elevation

Preliminary
Not for Construction
Print on 11"x17"
Scale: 1/4" = 1' - 0"

Sheet Title:

Side
Elevations

Client Rep:

Jamie R.

Scale:

As noted

Issue Date:

March 18 2024

Drawn By:

K.G.

Drawing:

S104



Revision:

Jamie
Rodgersen &
Sons

Project:
Senior
Housing
Development

Revision Notes:

- Removed perforated roof soffits and replaced with soffit vents through attic space.

Documents:

- S100 - Cover sheet
- S101 - Site Plan
- S102 - Site Plan Renderings
- S103 - Floor Plan - 1 Story - 2 Bedroom - 16'x32'
- S104 - Side Elevations

Preliminary
Not for Construction
Print on 11"x17"



Sheet Title:

Cover Sheet

Client Rep:

Jamie R.

Scale:

As noted

Issue Date:

March 26 2025

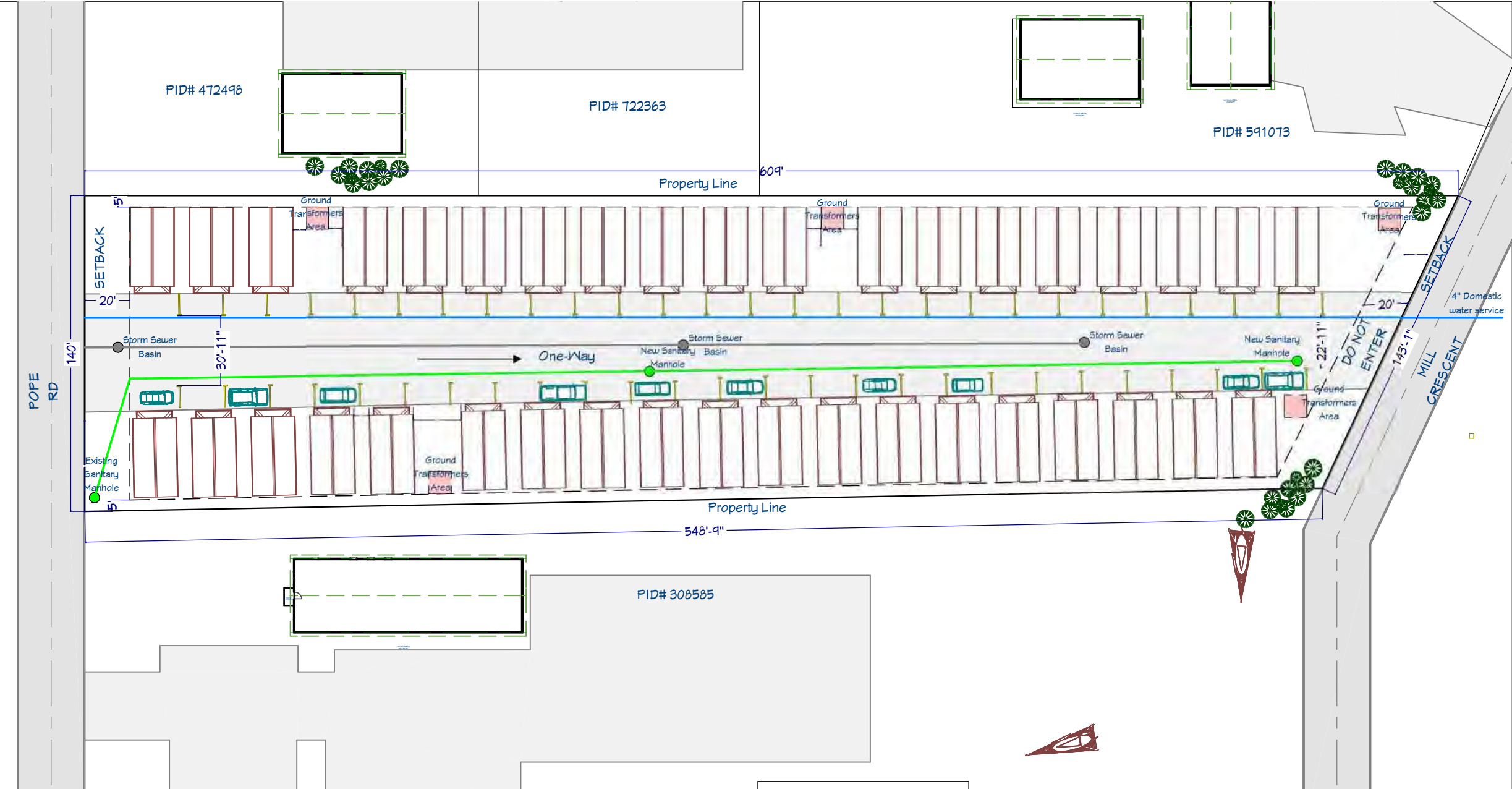
Drawn by:

K.G.

Drawing:

S100

- NOTES:
- 1 Property line measurements are approximate and subject to professional site survey.
 - 2 There are 38 homes with 52 parking spots.
 - 3 Total property size is 77,900sq/ft.
 - 18,600sq/ft of roadway(24%)
 - 20,480sq/ft of buildings(26%)
 - 38,820sq/ft of green space(50%)
 - 4 Centralized drainage to be down center of lane way.
 - 5 Four inch Domestic water service.
 - 6 Six inch sanitary service.
 - 7 Twelve inch storm sewer.



Preliminary
Not for Construction
Print on 11"x17"
Scale: 1" = 50' - 0"

RECEIVED
By cindy.bedwell at 10:48 am, 4/1/25

Revision:

Jamie
Rodgerson &
Sons

Project:
Senior
Housing
Development

Sheet Title:

Client Rep:

Jamie R.

Scale:

As noted

Issue Date:

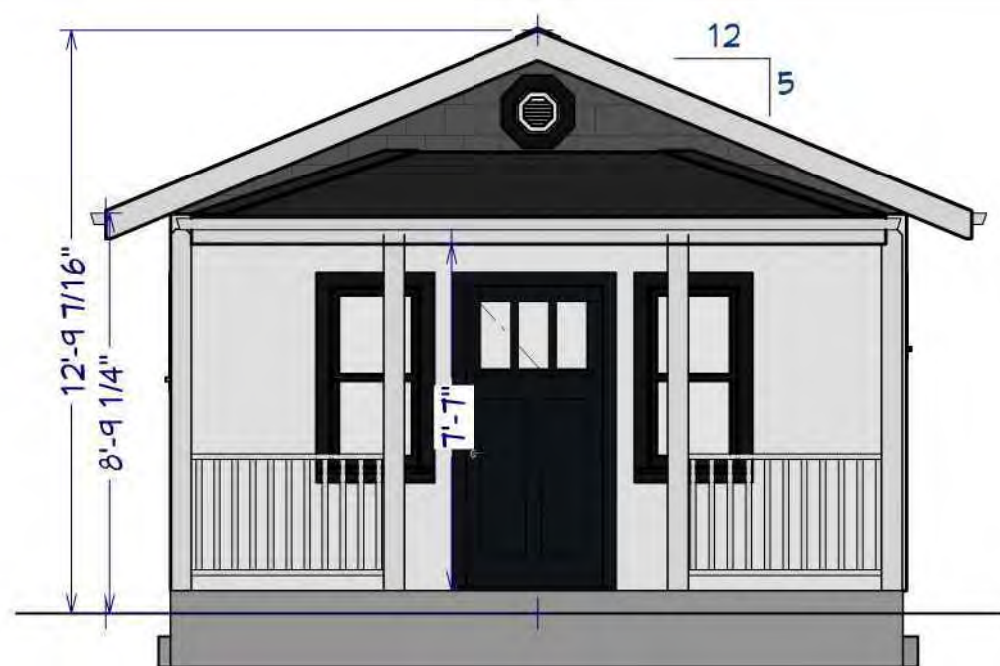
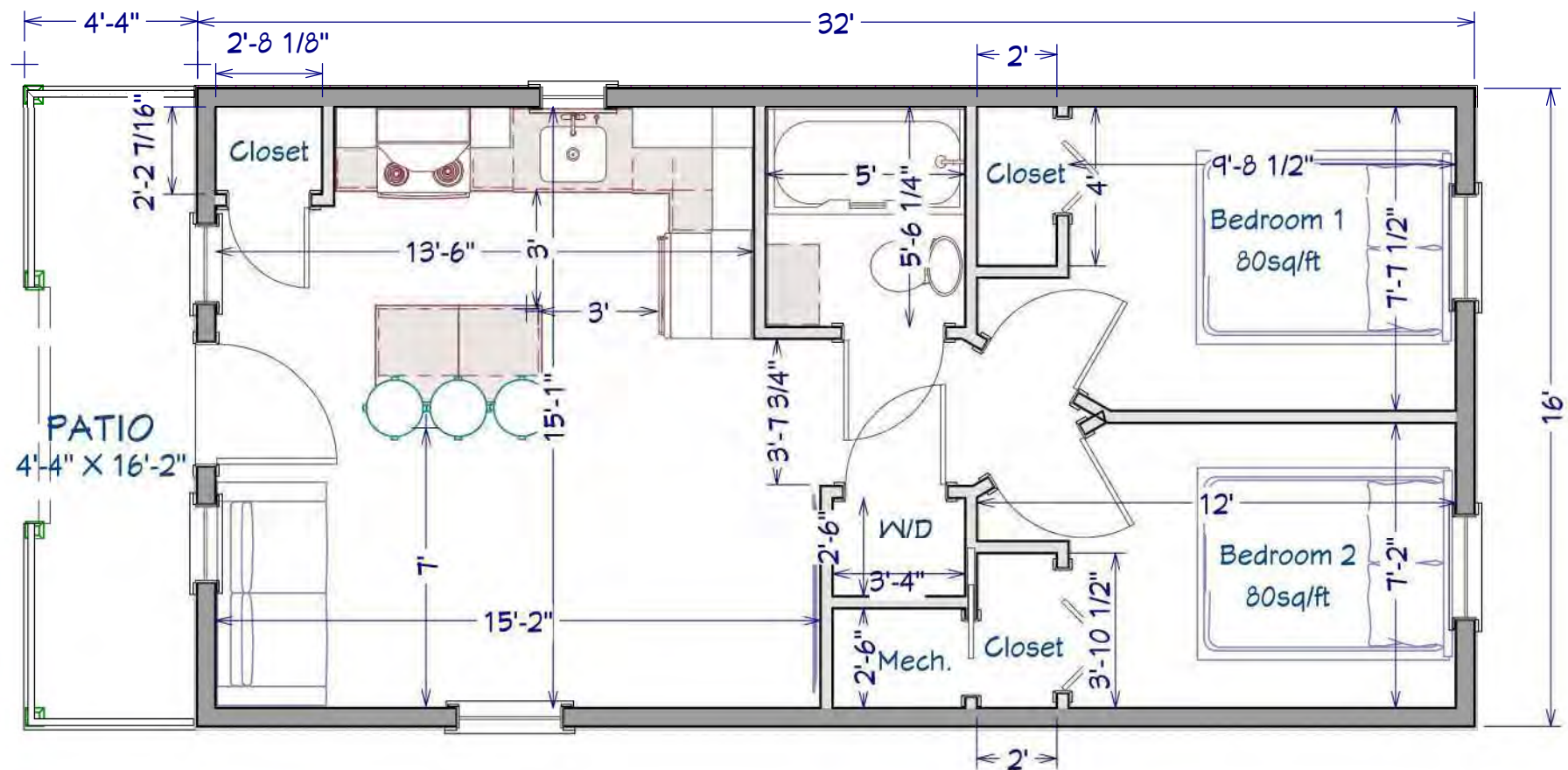
March 26 2025

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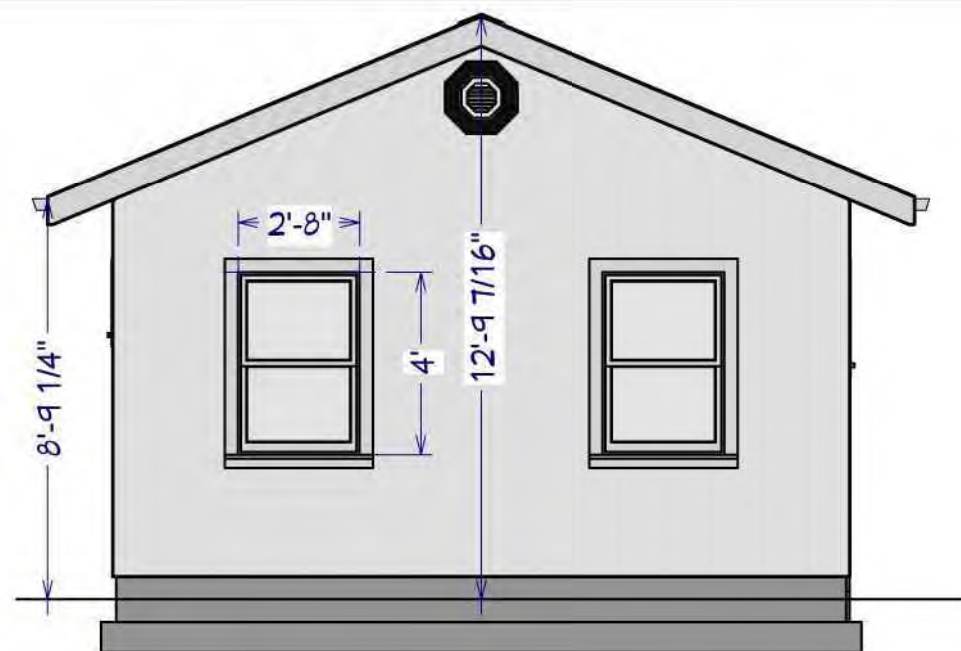
K.G.

Drawing:

S102



Front Elevation



Back Elevation

Preliminary
Not for Construction
Print on 11"x17"
By cindy.bedwell at 10:48 am, 4/1/25
Scale: 1/4" = 1' - 0"

Revision:

Jamie
Rodgerson &
Sons

Project:
Senior
Housing
Development

Sheet Title:

V1 - 1 story
- 2 Bedroom
- 16x32

Client Rep:

Jamie R.

Scale:

As noted

Issue Date:

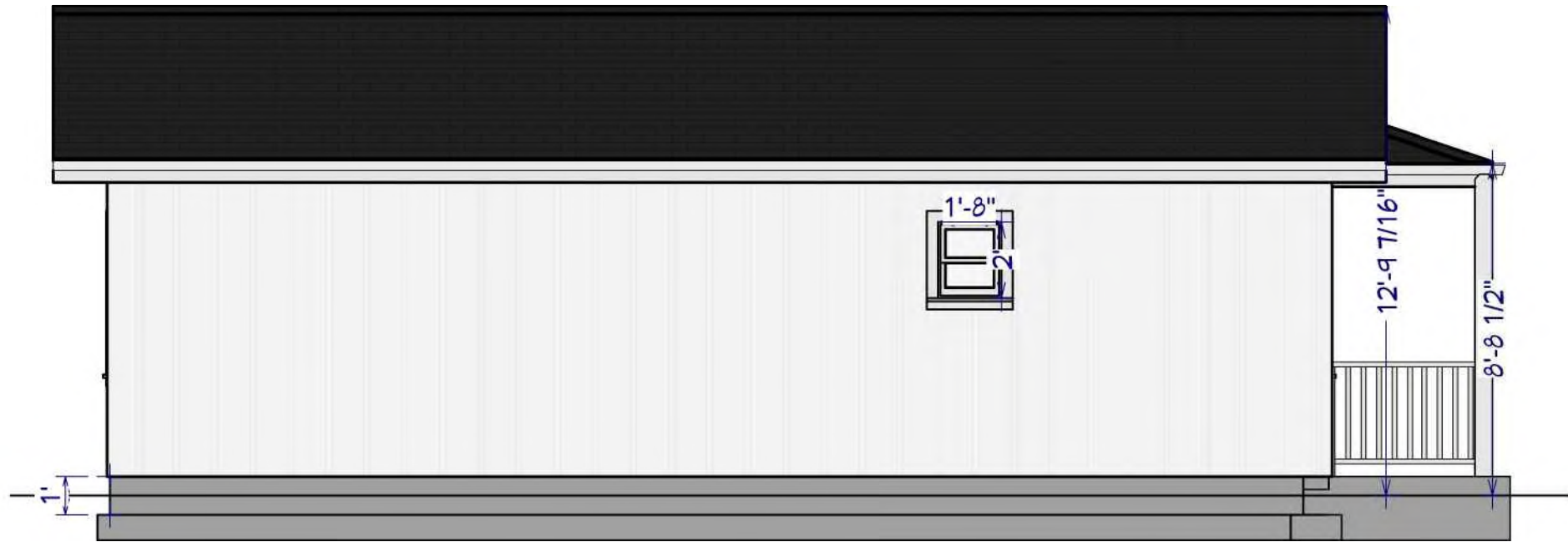
March 26 2025

Drawn by:

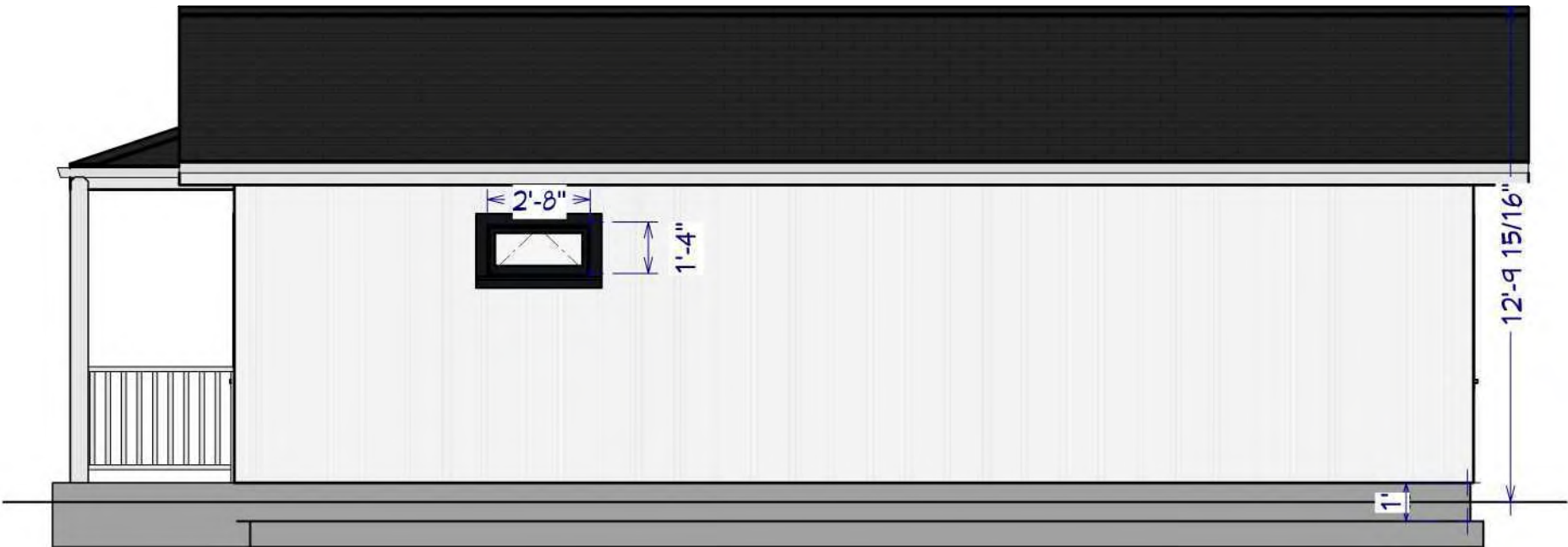
K.G.

Drawing:

S103



Left Elevation



Right Elevation

Preliminary
Not for Construction
RECEIVED
Print on 11" x 17"
By cindy.bedwell at 10:48 am, 4/1/25
Scale: 1/4" = 1' - 0"

Revision:

Jamie
Rodgers &
Sons

Project:
Senior
Housing
Development

Sheet Title:

Side
Elevations

Client Rep:

Jamie R.

Scale:

As noted

Issue Date:

March 26 2025

Drawn by:

K.G.

Drawing:

S104

APR 08 2024

1 Property line measurements are approximate and subject to professional site survey.

2 There are 40 homes with 53 parking spots.

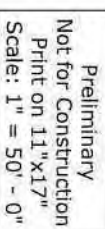
3 Total property size is 77,900sq/ft.

18,600sq/ft of roadway(24%)

20,480sq/ft of buildings(26%)

38,820sq/ft of green space(50%)

4 Homes are separated 2.4 metres in accordance to Section 3.2.3.1 of NBC2015 to meet minimum fire separation. This code requires no more than 0.35m² window area on exposed walls.



S102



September 8, 2025

Harcor Holdings Inc.
Jamie Rogerson
106 Hallie Drive
Summerside, PE C1N 5H3

Re: Official Plan & Zoning Amendments – 185 Pope Road

Please be advised that City Council at its meeting on September 2, 2025 denied your application to amend the Official Plan and Zoning Bylaw for PID #548610 located at 185 Pope Road.

The following amendments were denied:

Proposed amendment to the Official Plan:

- Change the land use map (Schedule B) from Industrial land use to Comprehensive Development Area land use.

Proposed amendment to the Zoning Bylaw:

- Change the zoning bylaw (by inserting Section 21) and the zoning map (Schedule B) from Light Industrial (M1) zone to Comprehensive Development Area (CDA) zone.

Please note that anyone who is dissatisfied with the decision to grant approval, may within 21 days of the approval date, appeal to the Island Regulatory & Appeals Commission. The City is not liable for any damage suffered by any person resulting from development undertaken during the appeal period or while a decision is under appeal.

If you have any questions, please contact the undersigned at 902-432-1270.

Yours truly,

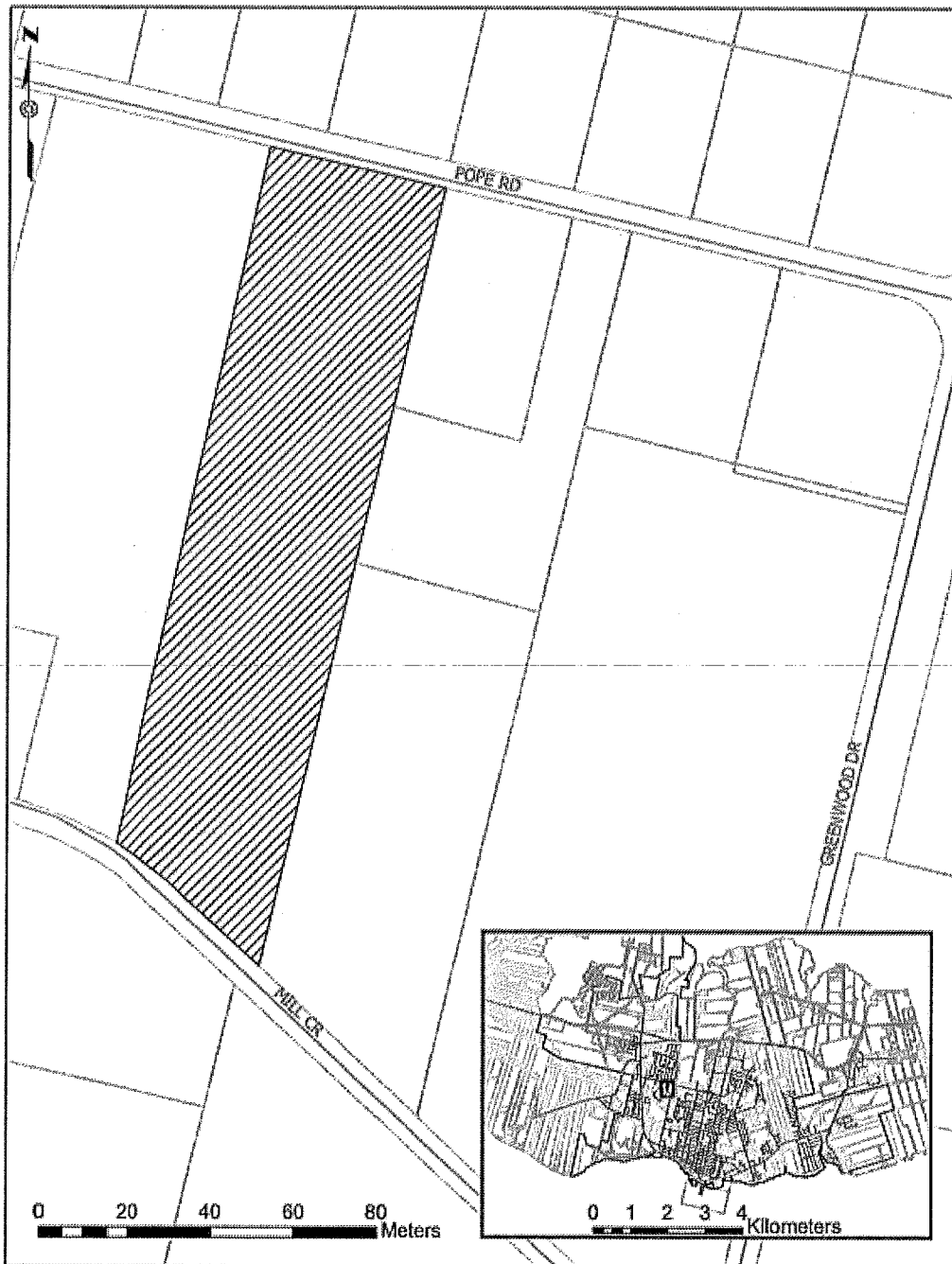
Linda Stevenson
Development Officer

c. JP Desrosiers, Acting CAO
Aaron MacDonald, DTS

OFFICIAL AMENDMENT 0111 & ZONING AMENDMENT 0112

The Council of the City of Summerside under authority vested in it by Section 18 of the *Planning Act R.S.P.E.I. 1988 Cap. P-8* hereby enacts as follows:

- I. The land use for PID #548610 (185 Pope Road) as shown on Schedule B (Future Land Use Map) of the *City of Summerside Official Plan*, is designated as Comprehensive Development Area land use, hereby excluding it from its former designation of Industrial land use under the *City of Summerside Official Plan*;
- II. The zoning amendments for PID #548610 (185 Pope Road), inserting Section 21. (Residential Cluster Housing) and zoning map as shown on Schedule B (Zoning Map) of the *City of Summerside Zoning Bylaw*, is designated as Comprehensive Development Area (CDA) zone, hereby excluding it from its former designation of Light Industrial (M1) zone.



Cluster Residential District – 185 Pope Road

21. All permitted use developments within the Cluster Residential District – 185 Pope Road shall be subject to approval by the Development Officer while discretionary uses shall be referred to Council for a decision.
21. Application for all developments in the Cluster Residential District – 185 Pope Road shall be reviewed in accordance with the guidelines and standards in Section 5 of this Bylaw and *Summerside Official Plan 2018; Building Bylaw CS-31; and Subdivision & Site Development Bylaw SS-19.*

Definitions

21. Dwelling, Cluster Residential means a group of four (4) or more single-detached residential buildings located on a single lot.

Permitted Uses

21. Subject to bylaw requirements, the following uses shall be permitted:

Permitted Uses		
RESIDENTIAL		
accessory building	dwelling, cluster residential	

Conditional Uses

21. Subject to Development Officer approval:

Conditional Uses		
RESIDENTIAL		
home based business		

Development Standards

21. Development of 185 Pope Road shall conform with the following standards, where the front yard abuts Pope Road and the rear yard abuts Mill Crescent:

Cluster Residential District		Min. Front yard	Min. Side yards	Min. Rear yard	Max. height	Min. Distance between buildings
single detached dwelling (group)	m	6	2	6	4.6	4
	ft	19.7	6.6	19.7	15	13.12

Servicing Standards

21.

- a) each dwelling shall front onto a paved service road connecting to a street R.O.W.;
- b) all service roads shall be a one-way with a minimum of 3.6 m (11.8 ft) for the driving lane;
- c) each dwelling shall have service connections to water and sewer laterals serving the lot, but no dwelling shall be sited over such a lateral;
- d) a Drainage Plan the considers the development of the entire lot is required as part of the permit application.

General Standards

21. One (1) parking space shall be provided per dwelling unit.

21. All portions of the lot not covered by structures, parking or traffic circulation areas shall be landscaped.

21. Notwithstanding Section 8.9, more than one main building is permitted on a lot within this CDA – Cluster Residential District – 185 Pope Road.



Map 21. Cluster Residential District – 185 Pope Road

July 3, 2025

SEAN D. BLACQUIRERE
19 MARLEWOOD DR


PID # 592113

Re: 185 Pope Road – Official Plan and Zoning Bylaw Amendment

The City of Summerside has received an application from Harcor Holdings Inc. for PID #548610 (See map enclosed) to amend the *Official Plan's* Future Land Use Map to redesignate the subject parcel from Industrial to Comprehensive Development Area. The application also proposed to amend the *Zoning Bylaw's* Zoning Map to rezone the subject parcel from Light Industrial (M1) to Comprehensive Development Area (CDA).

The amendments are being requested to allow for the development of multiple single detached dwellings on the subject parcel.

Under the zoning bylaw, all property owners within 60 meters of the boundaries of the subject property, shall be notified in writing at least 7 clear days prior to the public meeting. A public meeting before City Council is scheduled for **MONDAY, JULY 21, 2025 at 6:30pm**, in the Council Chambers, 275 Fitzroy Street. This meeting will be held to receive public comments concerning this application.

The meeting can be viewed via live stream using the following link: <https://bit.ly/summerside-council>

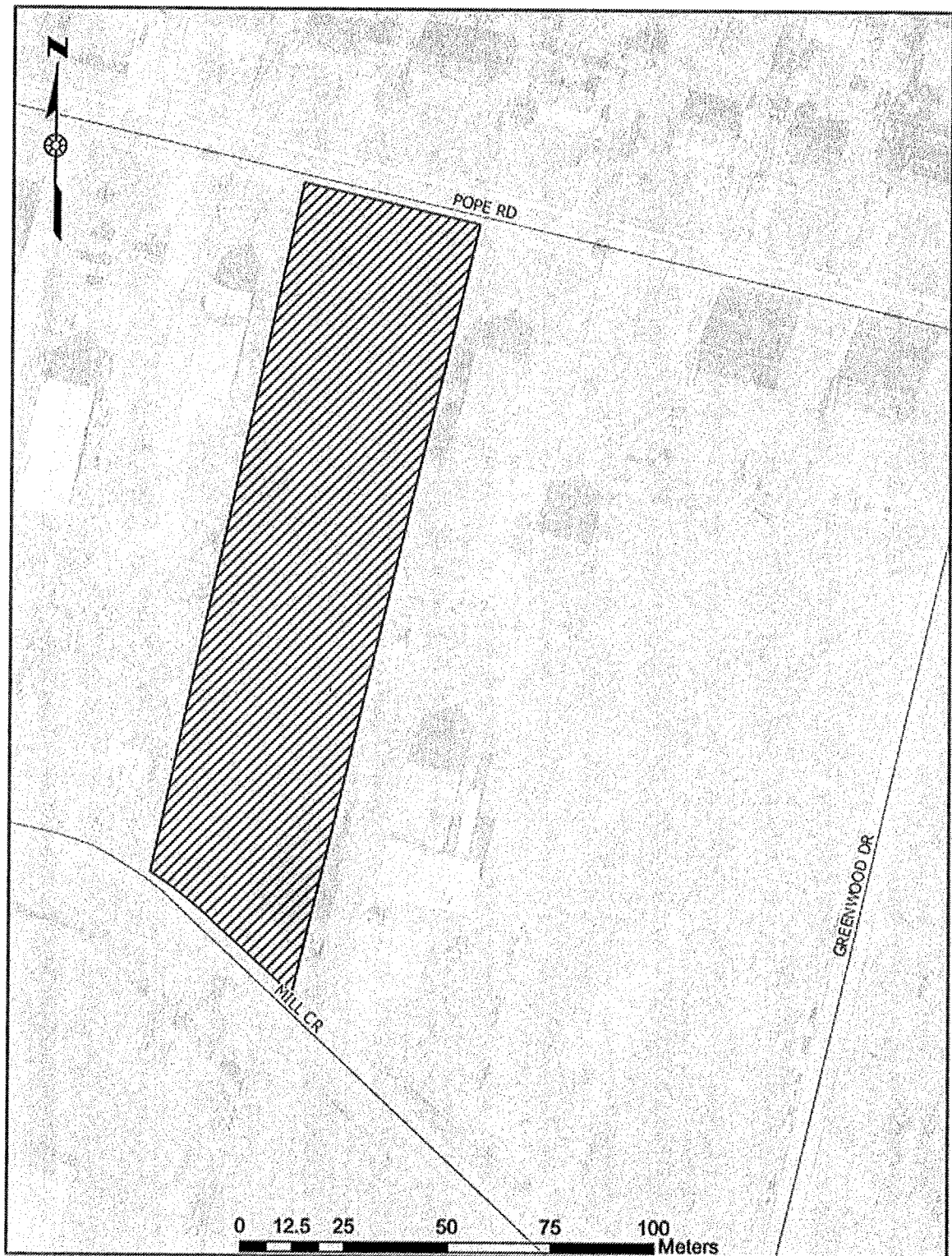
If you require additional information please contact the Development Officer at 902-432-1270 or by email linda.stevenson@city.summerside.pe.ca

Yours truly,



Linda Stevenson
Development Officer

c. JP Desrosiers, Acting Chief Administrative Officer
Aaron MacDonald, Director of Technical Services Department



Map showing location of 185 Pope Road, PID #548610

PID	FIRSTNAME	LASTNAME	O_ST_NO	O_ST_SUFF	O_ST_NM	O_ADR_2	O_ADR_3	O_ADR_4	OWN_POS
592113	SEAN D.	BLACQUIRERE					SUMMERSIDE	PE	C1N 5E7
537365	REAL J O	CARON					SUMMERSIDE	PE	C1N 5E9
537365	TERESA	CARON					SUMMERSIDE	PE	C1N 5E9
613935	RACHEL	COOPER					SUMMERSIDE	PE	C1N 5E2
606327		CWR HOLDINGS INCORPORATED					SUMMERSIDE	PE	C1N 0A7
592659	LORETTA	DOUCETTE					SUMMERSIDE	PE	C1N 5E2
538884		FINANCE PEI					CHARLOTTETOWN	PE	C1A 7M8
538884		FINANCE PEI					CHARLOTTETOWN	PE	C1A 7M8
548610 308585		HARCOR HOLDINGS inc					SUMMERSIDE	PE	C1N 0C9
525949	RAY FREDRICK	HOWATT					SUMMERSIDE	PE	C1N 5E2
591073		ILLSLEYS FARM SERVICE LTD					SUMMERSIDE	PE	C1N 2V5
322040 308593	DARCY	MACDONALD					CHARLOTTETOWN	PE	C1E 3H8
575951	SEAN	MACDONALD					SUMMERSIDE	PE	C1N 5E7
575951	BETHANY	MACDONALD					SUMMERSIDE	PE	C1N 5E7
472498	LISA	MACKINTOSH					MISCOUCHE	PE	C0B 1T0
69138		MARITIME PAPER PRODUCTS GP LTD					DARTMOUTH	NS	B3B 1C7
722363 690636		MCINNIS GROUP (1993) LTD					SUMMERSIDE	PE	C1N 5C6
613943	ALAN	MENDOZA					SUMMERSIDE	PE	C1N 5E2
613943	CYNTHIA	MENDOZA					SUMMERSIDE	PE	C1N 5E2
525931	NORBERT PATRICK	OBRIEN					SUMMERSIDE	PE	C1N 5E2
525931	JUDY	OBRIEN					SUMMERSIDE	PE	C1N 5E2
525956	RAMANDEEP	SINGH					SUMMERSIDE	PE	C1N 5X9
525956	NEHA SAHA	SINGH					SUMMERSIDE	PE	C1N 5X9
613976	WALTER	WILLIAMS					SUMMERSIDE	PE	C1N 5E7
613976	BETTY MAE	WILLIAMS					SUMMERSIDE	PE	C1N 5E7



Monthly Council Meeting Agenda

July 21, 2025

In-camera (closed door)

1. Call to order 5:00pm
2. Municipal Government Act Section 119 – SRDC
3. Adjournment

Planning Board

- 1) a) Call to order 6:15pm
- b) Approval of the Agenda
- c) Land acknowledgement
- d) Conflict of Interest Declaration
- 2) Recommendation - 330 Central Street – Restricted use
- 3) Adjournment

Monthly Meeting (*amended July 20)

Order of Business

- 1) a) Call to order 6:30pm
- b) Approval of the Agenda
- c) Conflict of Interest Declaration

2) Minutes

- a) Approval of the following meeting minutes:
 - i. Planning Board, June 16, 2025
 - ii. Monthly Council, June 16, 2025
 - iii. Planning Board, July 2, 2025
 - iv. Committee of the Whole, July 2, 2025
 - v. Special Council, July 2, 2025

3) Accolades/Recognitions

4) Public presentations/Petitions/Delegations

- a) Coldest Night of the Year
- b) *Service level review – Gordon McIntosh
- c) Municipal Services Department overview

5) Appointment to Committees

- a) Resolution COS 25-078 Safer Community Committee appointments

6) Introduction and reading of Bylaws & Resolutions

- a) 232 Simmons Avenue – Official Plan & Zoning Bylaw amendments
 - i. Resolution COS 25-079 Zoning Bylaw amendment first reading
 - ii. Resolution COS 25-080 Zoning Bylaw amendment first reading approval and refer to Planning Board
- b) 185 Pope Road Official Plan and Zoning Bylaw amendments
 - i. Resolution COS 25-081 Zoning Bylaw amendment first reading
 - ii. Resolution COS 25-082 Zoning Bylaw amendment first reading approval and refer to Planning Board
- c) Resolution COS 25-083 330 Central Street- Restricted use
- d) Resolution COS 25-084 55 Starlite Street – Starlite Subdivision Phase 2 preliminary approval renewal
- e) Resolution COS 25-085 55 Starlite Street – Starlite Subdivision Phase 3 preliminary approval renewal
- f) Resolution COS 25-086 Summerside Public Art Policy adoption

7) Department Reports

- a) Mayor's Report
- b) Finance – Representative, Councillor MacDougall
- c) Community Services & Tourism – Representative, Councillor Trenholm
- d) Governance, Human Resources & Legal Services – Representative, Councillor McColeman
- e) Municipal Services - Representative, Councillor Morrison
- f) Arts, Culture & Diversity – Representative, Councillor Cameron
- g) Technical Services - Representative, Councillor Doiron
- h) Economic Development & Growth – Representative, Deputy Mayor Snow
- i) Emergency Services and Communications - Representative, Councillor Adams
- j) CAO – 3-month work plan

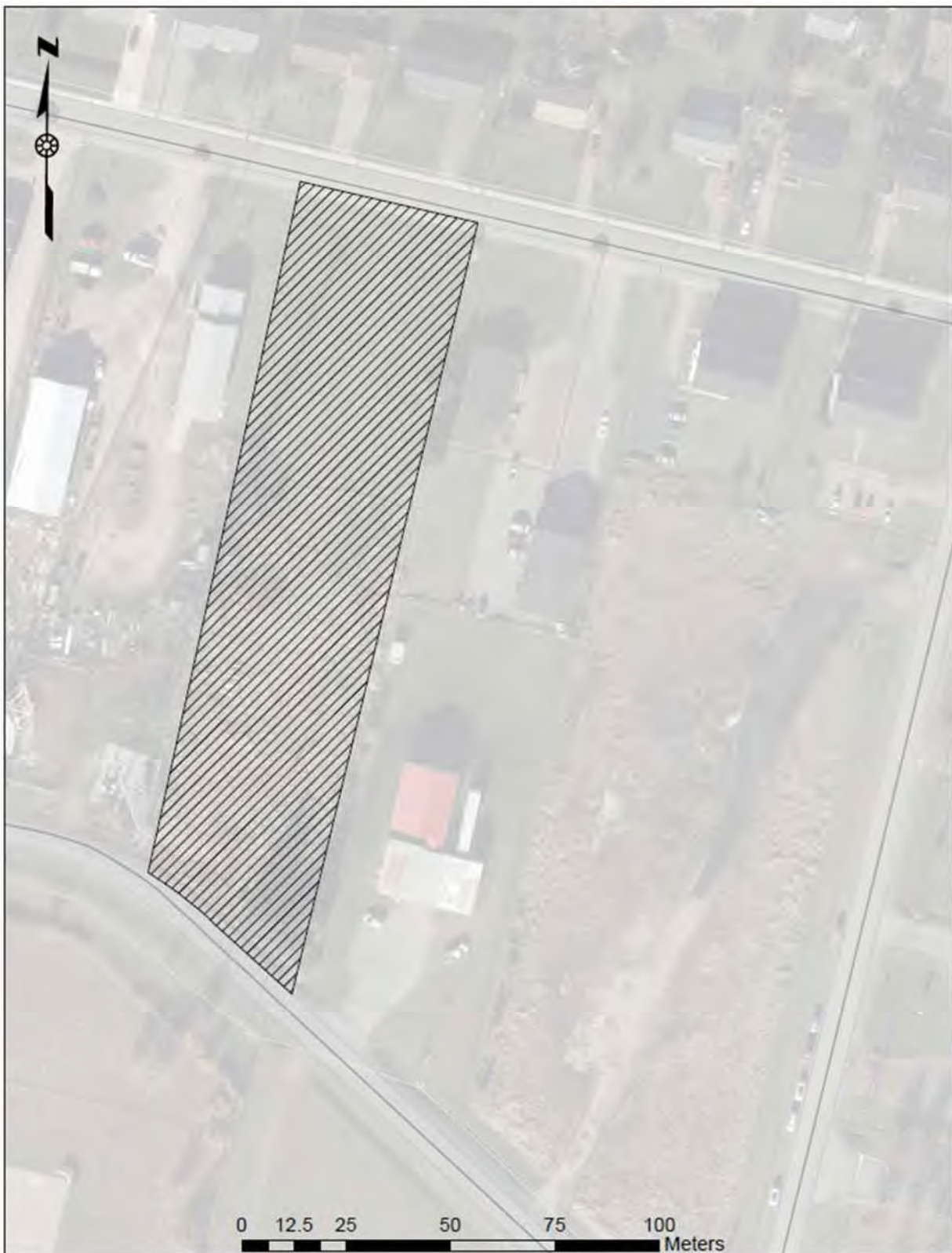
8) Adjournment

6b) 185 Pope Road – Official Plan and Zoning bylaw amendments

Background:

An application was received from Harcor Holdings Inc. for an Official Plan and Zoning Bylaw amendment that affects PID #548610, also known as 185 Pope Road. The purpose of this Official Plan and Zoning Bylaw amendment is to amend the Official Plan Future Land Use Map to redesignate the properties from Industrial land use to Comprehensive Development Area land use and amend the Zoning Bylaw to rezone the Zoning Bylaw Map from Light Industrial (M1) to Comprehensive Development Area (CDA) zone. The Cluster Residential District creates an overlay that defines the permitted uses and the regulations for the property.

The application was advertised in the July 5th, edition of the Guardian and letters were mailed to property owners within 60m or 200ft of the subject properties.



Explanation of the Process:

In order to process an official plan and zoning bylaw amendment, the following steps are required:

- (1) The zoning bylaw amendment is read a first time and declared as read at a first Council meeting.
- (2) The zoning bylaw amendment is referred to Planning Board for review and recommendation.

(Steps 1 and 2 take place at the same meeting of Council and will take place this evening)

- (3) Planning Board reviews the application and prepares a recommendation to Council.
(Step 3 takes place at Planning Board meeting)

- (4) The zoning bylaw amendment is read a second time and declared as read at a second Council meeting.
- (5) The official plan amendment is read to be adopted by Council, the resolution will be either carried or defeated by vote of Council. If the official plan amendment, is adopted by Council, it is sent to the Minister of Housing, Land and Communities for signature and the amendment becomes official. If the official plan amendment is defeated, the zoning bylaw amendment will be defeated as well, as the zoning amendment cannot contradict the official plan amendment.
- (6) The zoning bylaw amendment is read to be adopted by Council, the resolution will be either carried or defeated by vote of Council. If the zoning bylaw amendment, is adopted by Council, it is sent to the Minister of Housing, Land and Communities for signature and the amendment becomes official.

(Steps 4 - 6 take place at Council's second meeting)

Please note, that in accordance with section 5.10 of the City Zoning Bylaw, any person who is dissatisfied by a decision of Council in respect of the administration of this Bylaw, may appeal Council's decision within 21 days to the Island Regulatory & Appeals Commission [IRAC].

Cluster Residential District – 185 Pope Road

21. All permitted use developments within the Cluster Residential District – 185 Pope Road shall be subject to approval by the Development Officer while discretionary uses shall be referred to Council for a decision.
21. Application for all developments in the Cluster Residential District – 185 Pope Road shall be reviewed in accordance with the guidelines and standards in Section 5 of this Bylaw and *Summerside Official Plan 2018; Building Bylaw CS-31; and Subdivision & Site Development Bylaw SS-19.*

Definitions

21. Dwelling, Cluster Residential means a group of four (4) or more single-detached residential buildings located on a single lot.

Permitted Uses

21. Subject to bylaw requirements, the following uses shall be permitted:

Permitted Uses		
RESIDENTIAL		
accessory building	dwelling, cluster residential	

Conditional Uses

21. Subject to Development Officer approval:

Conditional Uses		
RESIDENTIAL		
home based business		

Development Standards

21. Development of 185 Pope Road shall conform with the following standards, where the front yard abuts Pope Road and the rear yard abuts Mill Crescent:

Cluster Residential District		Min. Front yard	Min. Side yards	Min. Rear yard	Max. height	Min. Distance between buildings
single detached dwelling (group)	m	6	2	6	4.6	4
	ft	19.7	6.6	19.7	15	13.12

Servicing Standards

21.

- a) each dwelling shall front onto a paved service road connecting to a street R.O.W.;
- b) all service roads shall be a one-way with a minimum of 3.6 m (11.8 ft) for the driving lane;
- c) each dwelling shall have service connections to water and sewer laterals serving the lot, but no dwelling shall be sited over such a lateral;
- d) a Drainage Plan the considers the development of the entire lot is required as part of the permit application.

General Standards

21. One (1) parking space shall be provided per dwelling unit.

21. All portions of the lot not covered by structures, parking or traffic circulation areas shall be landscaped.

21. Notwithstanding Section 8.9, more than one main building is permitted on a lot within this CDA – Cluster Residential District – 185 Pope Road.



Map 21. Cluster Residential District – 185 Pope Road

Comments and Questions:

a. The applicant is invited to make comments. (Jamie Rogerson)

b. The public is invited to make comments.

(The floor is opened to the public for questions and comments. Please state your name and civic address for the record.)

Resolutions

- i. Resolution COS 25-081 185 Pope Road Zoning Bylaw amendment first reading
- ii. Resolution COS 25-082 185 Pope Road Zoning Bylaw amendment first reading approval and refer to Planning Board

Resolution
COS 25-081

July 21, 2025

Moved by Councillor _____

Seconded by Councillor _____

Resolution:

Carried	
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For	
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Defeated	
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Against	
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WHEREAS an application was received from Harcor Holdings Inc. for a zoning amendment for PID # 548610 from Light Industrial (M1) zone to Comprehensive Development Area (CDA) Cluster Residential District zone under the *City of Summerside Zoning Bylaw*;

BE IT RESOLVED THAT zoning bylaw amendment 0112, a bylaw to amend the *City of Summerside Zoning Bylaw* was read and declared as read a first time at the Council meeting held on July 21, 2025;

[schedule A is attached]

Schedule A
ZONING AMENDMENT 0112
A BYLAW TO AMEND THE CITY OF SUMMERSIDE ZONING BYLAW

The Council of the City of Summerside under authority vested in it by Section 18 and Section 19 of the *Planning Act R.S.P.E.I. 1988 Cap. P-8* hereby enacts as follows:

Cluster Residential District – 185 Pope Road

21. All permitted use developments within the Cluster Residential District – 185 Pope Road shall be subject to approval by the Development Officer while discretionary uses shall be referred to Council for a decision.
21. Application for all developments in the Cluster Residential District – 185 Pope Road shall be reviewed in accordance with the guidelines and standards in Section 5 of this Bylaw and *Summerside Official Plan 2018; Building Bylaw CS-31; and Subdivision & Site Development Bylaw SS-19*.

Definitions

21. Dwelling, Cluster Residential means a group of four (4) or more single-detached residential buildings located on a single lot.

Permitted Uses

21. Subject to bylaw requirements, the following uses shall be permitted:

Permitted Uses		
RESIDENTIAL		
accessory building	dwelling, cluster residential	

Conditional Uses

21. Subject to Development Officer approval:

Conditional Uses		
RESIDENTIAL		
home based business		

Development Standards

21. Development of 185 Pope Road shall conform with the following standards, where the front yard abuts Pope Road and the rear yard abuts Mill Crescent:

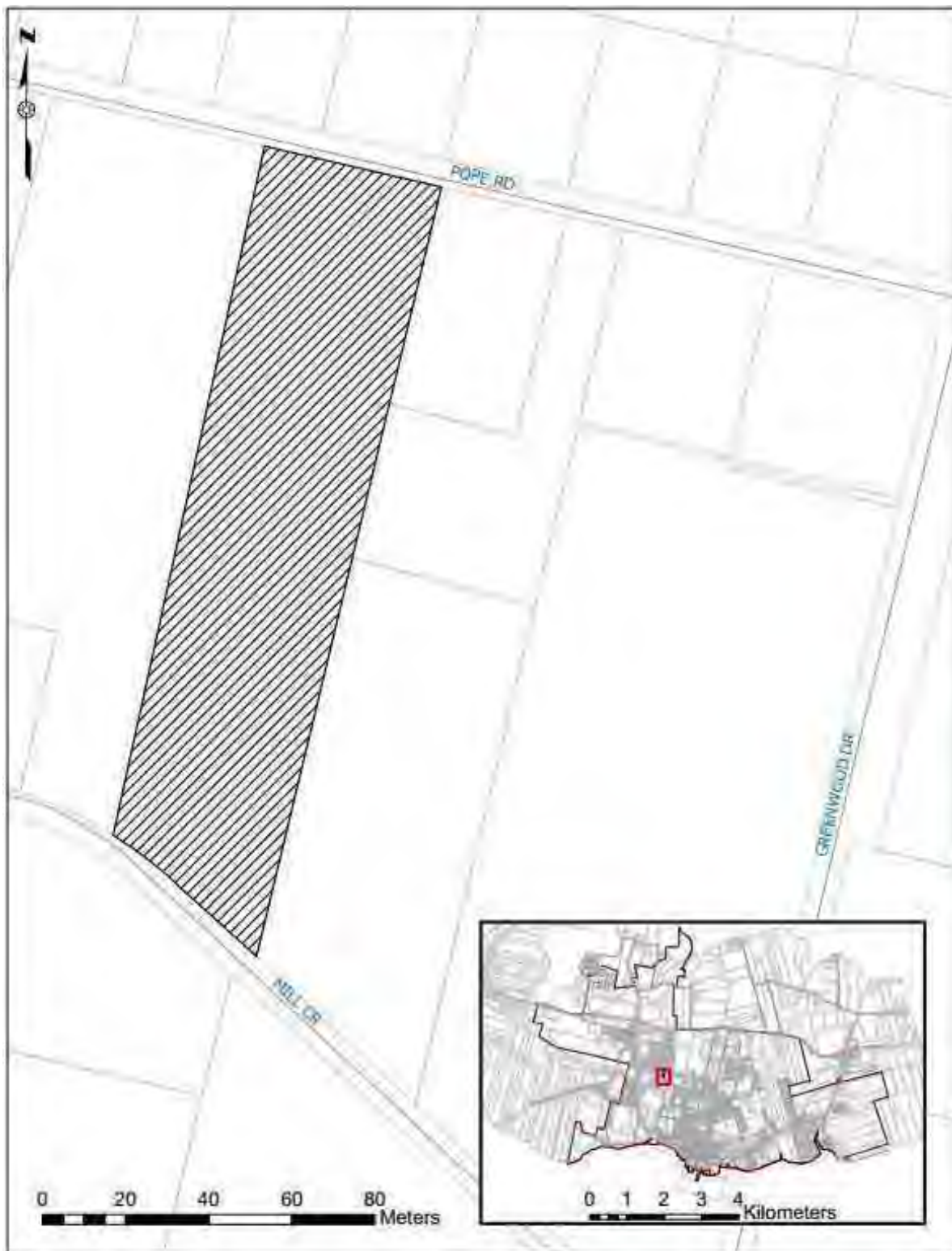
Cluster Residential District		Min. Front yard	Min. Side yards	Min. Rear yard	Max. height	Min. Distance between buildings
single detached dwelling (group)	m	6	2	6	4.6	4
	ft	19.7	6.6	19.7	15	13.12

Servicing Standards

- 21.
- a) each dwelling shall front onto a paved service road connecting to a street R.O.W.;
 - b) all service roads shall be a one-way with a minimum of 3.6 m (11.8 ft) for the driving lane;
 - c) each dwelling shall have service connections to water and sewer laterals serving the lot, but no dwelling shall be sited over such a lateral;
 - d) a Drainage Plan the considers the development of the entire lot is required as part of the permit application.

General Standards

21. One (1) parking space shall be provided per dwelling unit.
21. All portions of the lot not covered by structures, parking or traffic circulation areas shall be landscaped.
21. Notwithstanding Section 8.9, more than one main building is permitted on a lot within this CDA – Cluster Residential District – 185 Pope Road.



Map 21. Cluster Residential District – 185 Pope Road

July 21, 2025

Moved by Councillor _____

Seconded by Councillor _____

Resolution:

Carried	
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For	
-----	--

Defeated	
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Against	
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WHEREAS an application was received from Harcor Holdings Inc. for a zoning amendment for PID # 548610 from Light Industrial (M1) zone to Comprehensive Development Area (CDA) Cluster Residential District zone under the *City of Summerside Zoning Bylaw*;

AND WHEREAS zoning bylaw amendment 0112, a bylaw to amend the *City of Summerside Zoning Bylaw*, was read and declared as read a first time at this Council meeting;

BE IT RESOLVED THAT zoning bylaw amendment 0112, a bylaw to amend the *City of Summerside Zoning Bylaw* be hereby referred back to the Planning Board for review and recommendation.

Monthly Council Meeting Minutes

July 21, 2025

Present

Mayor Dan Kutcher
Deputy Mayor Cory Snow
Councillor Bruce MacDougall
Councillor Justin Doiron
Councillor Nick Cameron
Councillor Norma McColeman
Councillor Ken Trenholm
Councillor Rick Morrison
Councillor Carrie Adams
Kristen Dunsford, Director of Financial Services
JP DesRosiers, Chief Administrative Officer
Greg Gaudet, Director of Municipal Services
Sandra Zarvie, Executive Assistant
Members of the Media
Members of the Public

Call to Order / Approval of Agenda / Land Acknowledgement / Conflict of Interest Declaration

The meeting was called to order by Mayor Kutcher at 6:25pm

Motion It was moved and seconded.
That The Agenda be approved as circulated.
Motion Carried

Conflict of Interest Declaration – There were no conflicts declared by any Council member with any item on the agenda

Approval of the Minutes

Motion It was moved and seconded;
That The following minutes be approved as circulated:

- i. Planning Board, June 16, 2025
- ii. Monthly Council, June 16, 2025
- iii. Planning Board, July 2, 2025
- iv. Committee of the Whole, July 2, 2025
- v. Special Council, July 2, 2025

Motion Carried

Resolution carried 7-0

6) Introduction and reading of Bylaws & Resolutions

6a) Resolution COS 25-079

It was moved and seconded

WHEREAS an application was received from PCHF Investments Inc. for a zoning amendment for PID # 1169465 and PID # 71340 from Agricultural (A) zone to Comprehensive Development Area (CDA) Health and Learning District 1 and 2 zone under the *City of Summerside Zoning Bylaw*;

BE IT RESOLVED THAT zoning bylaw amendment 0200, a bylaw to amend the *City of Summerside Zoning Bylaw* was read and declared as read a first time at the Council meeting held on July 21, 2025;

Resolution carried 8-0

COS 25-080

It was moved and seconded

WHEREAS an application was received from PCHF Investments Inc. for a zoning amendment for PID # 1169465 and PID # 71340 from Agricultural (A) zone to Comprehensive Development Area (CDA) Health and Learning District 1 and 2 zone under the *City of Summerside Zoning Bylaw*;

AND WHEREAS zoning bylaw amendment 0200, a bylaw to amend the *City of Summerside Zoning Bylaw*, was read and declared as read a first time at this Council meeting;

BE IT RESOLVED THAT zoning bylaw amendment 0200, a bylaw to amend the *City of Summerside Zoning Bylaw* be hereby referred back to the Planning Board for review and recommendation.

Resolution carried 8-0

COS 25-081

It was moved and seconded

WHEREAS an application was received from Harcor Holdings Inc. for a zoning amendment for PID # 548610 from Light Industrial (M1) zone to Comprehensive Development Area (CDA) Cluster Residential District zone under the *City of Summerside Zoning Bylaw*;

BE IT RESOLVED THAT zoning bylaw amendment 0112, a bylaw to amend the *City of Summerside Zoning Bylaw* was read and declared as read a first time at the Council meeting held on July 21, 2025;

Resolution carried 8-0

COS 25-082

It was moved and seconded

WHEREAS an application was received from Harcor Holdings Inc. for a zoning amendment for PID # 548610 from Light Industrial (M1) zone to Comprehensive Development Area (CDA) Cluster Residential District zone under the *City of Summerside Zoning Bylaw*;

AND WHEREAS zoning bylaw amendment 0112, a bylaw to amend the *City of Summerside Zoning Bylaw*, was read and declared as read a first time at this Council meeting;

BE IT RESOLVED THAT zoning bylaw amendment 0112, a bylaw to amend the *City of Summerside Zoning Bylaw* be hereby referred back to the Planning Board for review and recommendation.

Resolution was carried 8-0

COS 25-083

It was moved and seconded

WHEREAS an application was received from Boys and Girls Club of Summerside for a Restricted Use to allow a “*Family Emergency Centre*” at 330 Central Street (PID # 308783), in the Medium Density Residential (R3) zone under the *City of Summerside Zoning Bylaw*;

AND WHEREAS in accordance with section 5.7 of the zoning bylaw, Council shall consider the following general criteria, as applicable:

- Conformity with all requirements of this Bylaw;
- Conformity with the Official Plan;
- Suitability of the site for the proposed development;
- Compatibility of the proposed development with surrounding land uses, including both existing and projected uses;
- Any comments from residents or other interested persons;
- Adequacy of existing water, sewer, road, storm water and electrical services, city parking, and parklands for accommodating the development, and any projected infrastructure requirements;
- Impacts from the development on pedestrian/vehicular access and safety, and on public safety generally;
- Compatibility of the development with environmental, scenic and heritage resources;
- Impacts on City finances and budgets;
- Other matters as specified in this Bylaw;
- Other matters as considered relevant.

BE IT RESOLVED THAT Council approve a Restricted Use to allow a “*Family Emergency Centre*” at 330 Central Street (PID # 308783), in the Medium Density Residential (R3) zone under the *City of Summerside Zoning Bylaw*.

Resolution was carried 8-0

**Resolution
COS 25-081**

July 21, 2025

Moved by Councillor

Seconded by Councillor

Resolution:

Carried	✓
Defeated	

For	8
Against	0

WHEREAS an application was received from Harcor Holdings Inc. for a zoning amendment for PID # 548610 from Light Industrial (M1) zone to Comprehensive Development Area (CDA) Cluster Residential District zone under the *City of Summerside Zoning Bylaw*;

BE IT RESOLVED THAT zoning bylaw amendment 0112, a bylaw to amend the *City of Summerside Zoning Bylaw* was read and declared as read a first time at the Council meeting held on July 21, 2025;

[schedule A is attached]

Schedule A
ZONING AMENDMENT 0112
A BYLAW TO AMEND THE CITY OF SUMMERSIDE ZONING BYLAW

The Council of the City of Summerside under authority vested in it by Section 18 and Section 19 of the *Planning Act R.S.P.E.I. 1988 Cap. P-8* hereby enacts as follows:

Cluster Residential District – 185 Pope Road

21. All permitted use developments within the Cluster Residential District – 185 Pope Road shall be subject to approval by the Development Officer while discretionary uses shall be referred to Council for a decision.
21. Application for all developments in the Cluster Residential District – 185 Pope Road shall be reviewed in accordance with the guidelines and standards in Section 5 of this Bylaw and *Summerside Official Plan 2018; Building Bylaw CS-31; and Subdivision & Site Development Bylaw SS-19*.

Definitions

21. Dwelling, Cluster Residential means a group of four (4) or more single-detached residential buildings located on a single lot.

Permitted Uses

21. Subject to bylaw requirements, the following uses shall be permitted:

Permitted Uses		
RESIDENTIAL		
accessory building	dwelling, cluster residential	

Conditional Uses

21. Subject to Development Officer approval:

Conditional Uses		
RESIDENTIAL		
home based business		

Development Standards

21. Development of 185 Pope Road shall conform with the following standards, where the front yard abuts Pope Road and the rear yard abuts Mill Crescent:

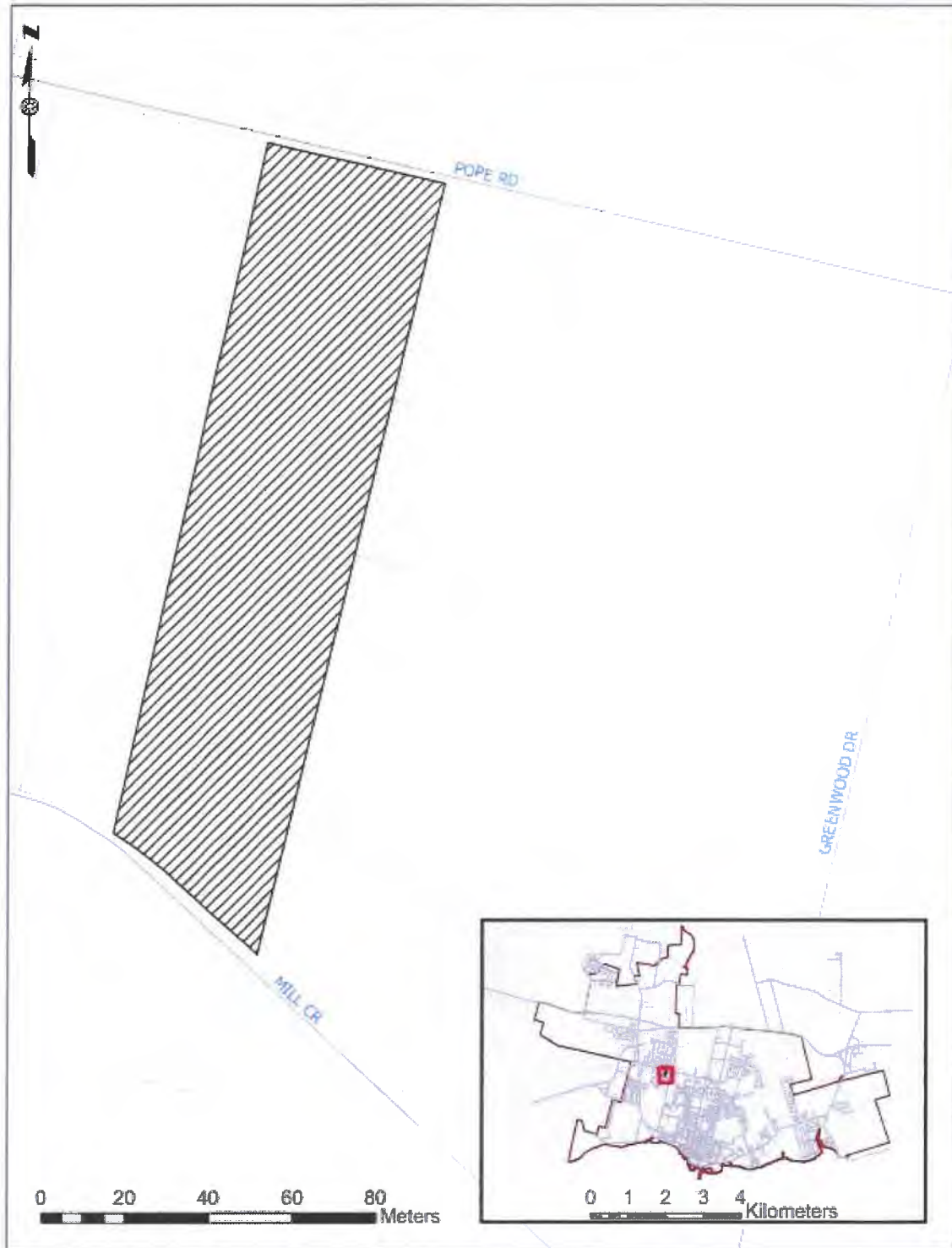
Cluster Residential District		Min. Front yard	Min. Side yards	Min. Rear yard	Max. height	Min. Distance between buildings
single detached dwelling (group)	m	6	2	6	4.6	4
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Servicing Standards

- 21.
- a) each dwelling shall front onto a paved service road connecting to a street R.O.W.;
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 - d) a Drainage Plan the considers the development of the entire lot is required as part of the permit application.

General Standards

21. One (1) parking space shall be provided per dwelling unit.
21. All portions of the lot not covered by structures, parking or traffic circulation areas shall be landscaped.
21. Notwithstanding Section 8.9, more than one main building is permitted on a lot within this CDA – Cluster Residential District – 185 Pope Road.



Map 21. Cluster Residential District – 185 Pope Road

**Resolution
COS 25-082**

July 21, 2025

Moved by Councillor

Seconded by Councillor

Resolution:

Carried	☒
Defeated	☐

For	8
Against	0

C. Snow

B. McKeown

WHEREAS an application was received from Harcor Holdings Inc. for a zoning amendment for PID # 548610 from Light Industrial (M1) zone to Comprehensive Development Area (CDA) Cluster Residential District zone under the *City of Summerside Zoning Bylaw*;

AND WHEREAS zoning bylaw amendment 0112, a bylaw to amend the *City of Summerside Zoning Bylaw*, was read and declared as read a first time at this Council meeting;

BE IT RESOLVED THAT zoning bylaw amendment 0112, a bylaw to amend the *City of Summerside Zoning Bylaw* be hereby referred back to the Planning Board for review and recommendation.

Agenda

August 5, 2025

Planning Board

- 1) Call to Order at 5pm
- 2) Approval of the Agenda
- 3) Land acknowledgement
- 4) Conflict of Interest declaration
- 5) Recommendation - 232 Simmons Avenue – Official Plan & Zoning Bylaw amendments
- 6) Recommendation - 185 Pope Road – Official Plan & Zoning Bylaw amendments
- 7) Adjournment

Committee of the Whole

- 1) Call to Order
- 2) Approval of the Agenda
- 3) Conflict of Interest declaration
- 4) Committee Reports and Recommendations
 - a) Finance Committee (Councillor MacDougall)
 - b) Bylaw and Governance Committee (Councillor McColeman)
 - c) Planning Committee (Councillor Doiron)
 - d) Action Plan for Safer Communities (Councillor Adams)
 - e) Parks and Greenspace Plan (Councillor Trenholm)
 - f) Youth Advisory Committee (Councillor Cameron)
 - g) Downtown Transformation (Deputy Mayor Snow)
 - h) Electric Utility Governance Review (Councillor Morrison)
 - i) Smart City initiatives – Service Delivery and AI (Councillor Cameron)
- 5) Staff Reports and Recommendations
 - a) Zoning Bylaw review
 - b) Dunskey Generation report
- 6) Committee of the Whole discussion items
 - a) Removal/widening of Confederation Trail Gates (form attached) – Councillor Trenholm
 - b) Employee personal use of City assets (form attached) – Councillor Cameron
- 7) CAO updates
- 8) Adjournment

In-camera (closed door)

- 1) Call to order
- 2) Municipal Government Act Section 119.1 – Intergovernmental Update
- 3) Municipal Government Act Section 119.1 – Finance Funding Review
- 4) Adjournment

August 5, 2025

Department/Committee: Planning Board

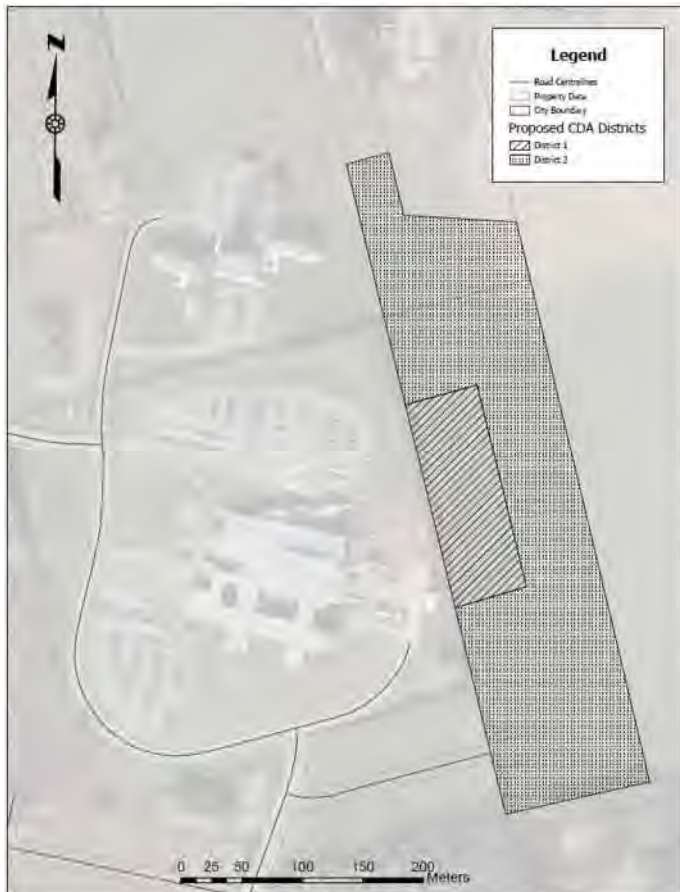
Subject: 232 Simmons Avenue (Official Plan and Zoning Amendment)

SUPPORTING EXPLANATION:

Purpose: The purpose of this Official Plan and Zoning Bylaw amendment is to amend Official Plan's Schedule 'B': "Future Land Use Map", to redesignate the subject parcels from Agriculture to Comprehensive Development Area. It is also proposing to amend the Zoning Bylaw Schedule A (Bylaw Text) and Schedule 'B' (Zoning Map)" for the purpose of rezoning the subject parcels from Agricultural (A) zone to Comprehensive Development Area (CDA) zone.

Background: An application was received from PCHF Investments Inc. for an Official Plan and Zoning Bylaw amendment that affects PID #1169465 and PID #71340 cumulatively known as 232 Simmons Avenue. The purpose of this Official Plan and Zoning Bylaw amendment is to amend the existing Agricultural land use and zoning to Comprehensive Development Area District to create an overlay that designates two separate development areas (Health and Learning District 1 and 2) and defines the permitted uses for each area.

MAP OF PROPOSED CDA PLAN DISTRICTS



DEVELOPMENT PLAN VIEW



Report: Under section 5.7 of the zoning bylaw, when Planning Board reviews a zoning bylaw amendment, it has to consider the following general criteria, as applicable. Under Section 8.4 of the Parks and Green Space Plan, the criteria of 2, 3, 5, 7 and 8 must be considered:

1. Conformity with all requirements of this Bylaw.

Staff Comment: The process to adopt and develop this comprehensive development area aligns with the Zoning Bylaw.

2. Conformity with the Official Plan.

Staff Comment: The proposed Official Plan Amendment aligns with the Official Plan. This proposal supports a number of objectives and policies within the Official Plan. Specifically:

- Section 3.4 "To foster growth strategies that focus on making Summerside a sustainable community". It proposes to have a higher density development and it contains a mix of land uses.
- Section 5.1.1 "To promote all housing types in the City"
- Section 5.3 "To encourage high density housing"
- Section 5.8.1, where the policies and objectives speak more to housing and the types of appropriate institutional uses, the proposed rezoning supports the Goal "to provide adequate and cost-effective institutional facilities to serve community needs for education and training, culture, recreation, health care, public safety and government, taking account of how population changes will affect demands for certain services." The applicant has explained the medical centre will include a health education and training

centre, housing for students, and will implement the 'patient care home' model; which is the direction PEI Health is moving to provide better healthcare for the residents of PEI.

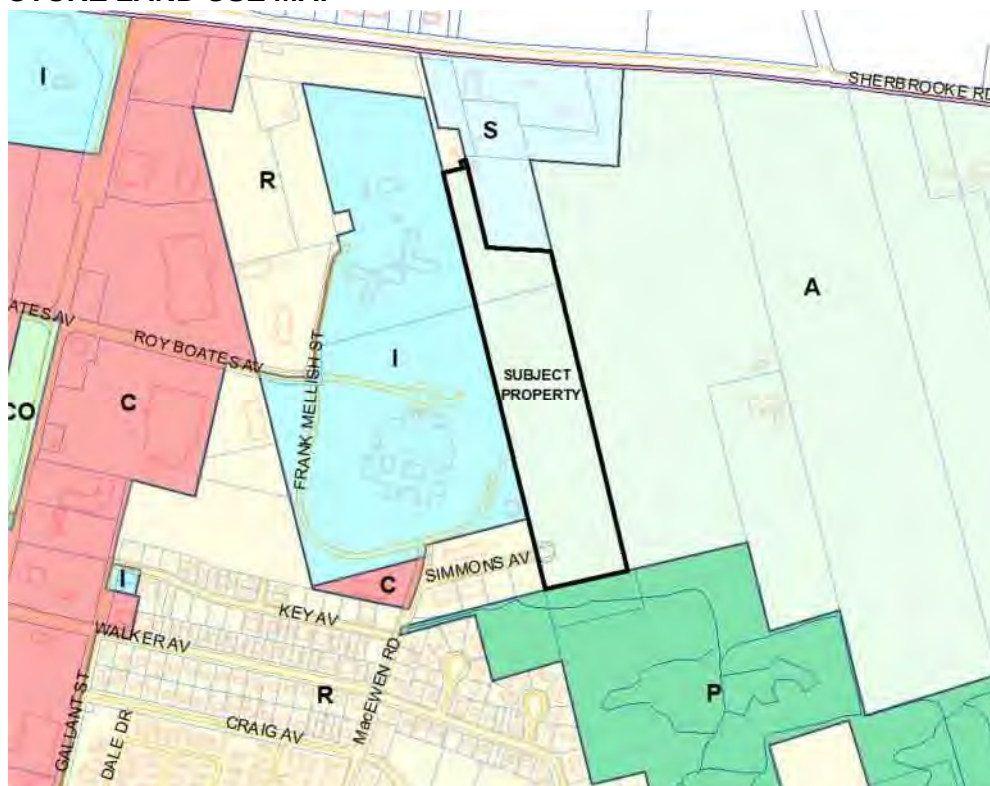
To specifically address the concerns around the development of agricultural lands: the proposed development aligns with the objective of Section 4.0 to "achieve effective growth management through best planning practices" specifically the policy to protect agricultural lands from premature development, speculation and other harmful urban impacts, with particular focus on agricultural lands on the City's periphery. It also supports the objective of Section 5.11 "To conserve agricultural lands". It is important to understand an urban municipality's role in protecting agricultural lands; it is not to prohibit the development of agricultural lands within our boundaries. An urban municipality annexes agricultural lands within their boundaries for long-term growth; to ensure there are lands available as the municipality grows. Their role is to provide serviced, developable land. In this way, an urban municipality protects the agricultural lands in the rural municipalities or unincorporated areas.

An urban municipality must ensure development of agricultural lands is done sustainably i.e.:

- Encouraging redevelopment of areas already built and with access to infrastructure,
- Encouraging development of agricultural lands be higher density, and
- Prohibiting leapfrogging (which is when a development skips over vacant land directly adjacent to developed lands in favour of land further away).

This proposed development is to support the hospital. To better serve it, the proposed development needed to be within the vicinity of it, which ruled out redevelopment of another lot. It is directly adjacent to the hospital, so it isn't leapfrogging. And the proposed residential uses are medium to high density. The amendments do not impact the Parks and Greenspace Plan.

EXTRACT OF FUTURE LAND USE MAP



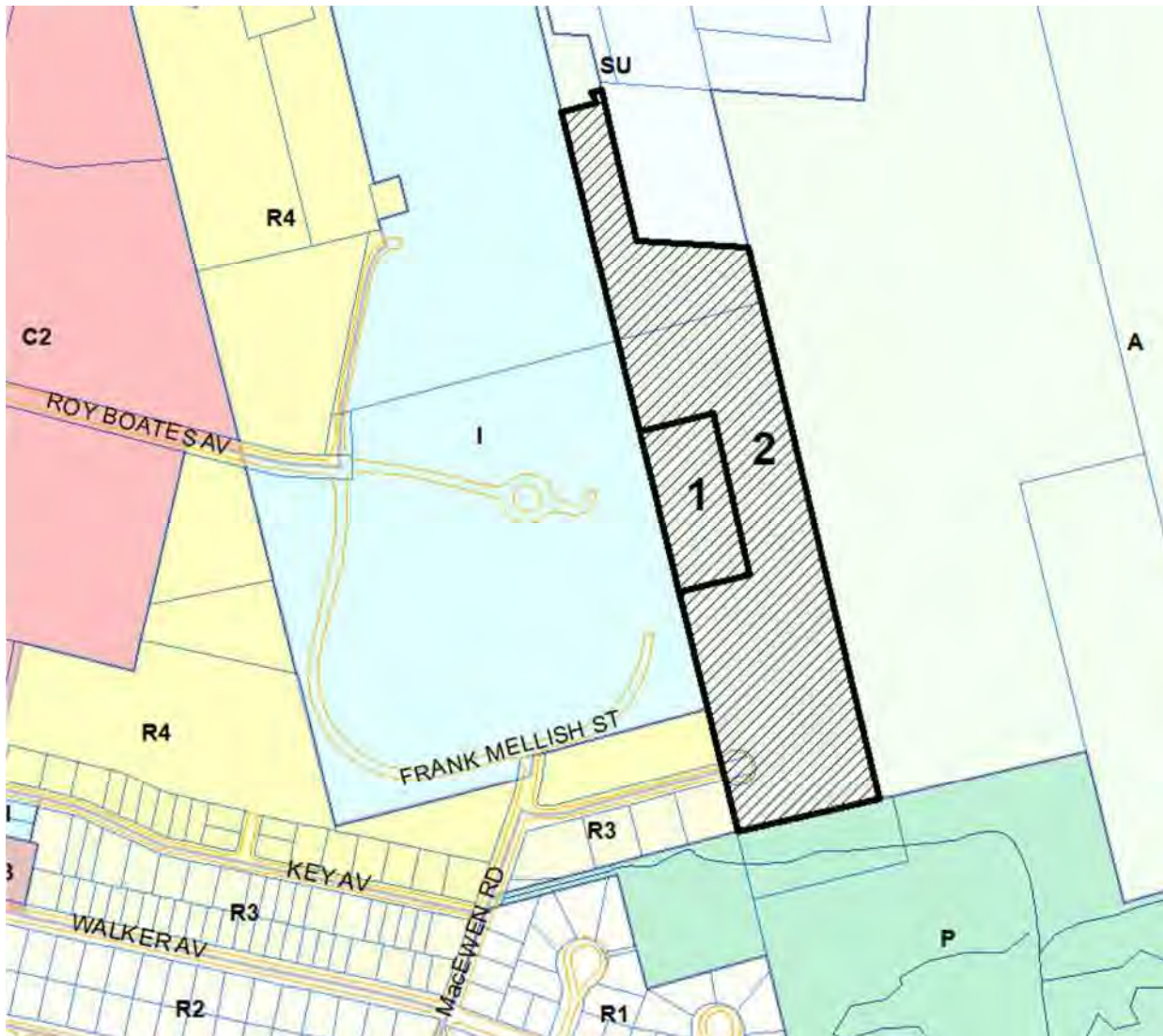
3. *Suitability of the site for the proposed development.*

Staff Comment: The +/-16 acre site is suitable for development and will be required to be developed as per City bylaws and standards. The property is intended to be further subdivided with extension of City roads and servicing.

4. *Compatibility of the proposed development with surrounding land uses, including both existing and projected uses.*

Staff Comment: There are a variety of land uses surrounding the proposed development: agricultural, residential, parkland, institutional, and a special use zone that houses the substation. These uses are all generally compatible with the proposed development and specifically support the institutional use.

EXTRACT OF ZONING MAP



5. *Any comments from residents or other interested persons.*

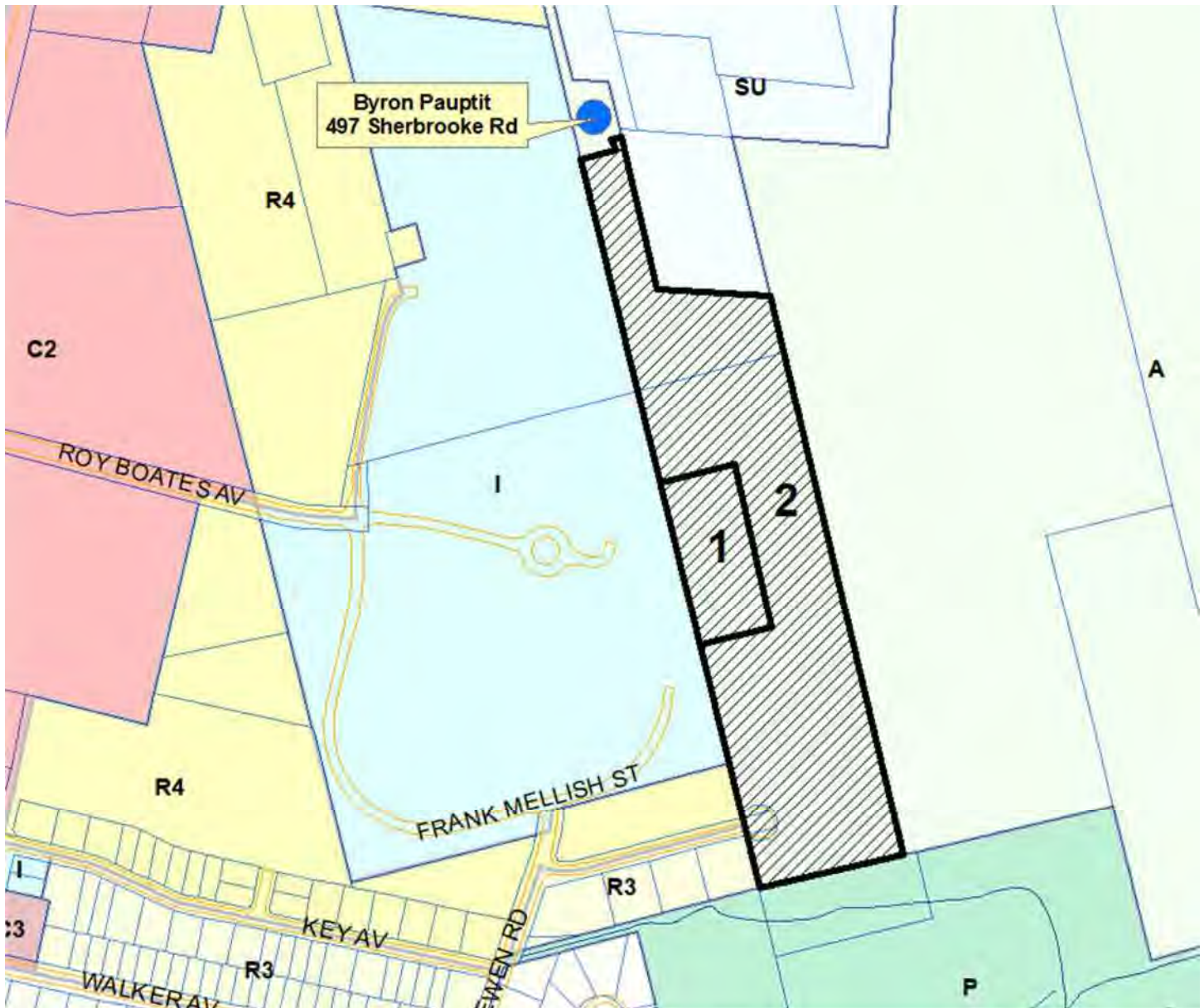
Staff Comment: A public meeting was held on July 21, 2025. The public meeting notice was advertised in the July 5th edition of the Guardian. Twelve (12) letters were mailed to thirteen (13) property owners, 2 of the properties notified were owned by the applicant. The applicant, Derek Bondt (President of PCHF Board) provided an overview of the development (CDA Plan)

outlining the intended uses. Byron Paupitt (497 Sherbrooke Rd) concerns/matters he raised at the public meeting included:

- that City is developing agricultural land

The concerns/matters raised at the public meeting have been addressed throughout this report.

EXTRACT OF ZONING MAP (public comments in relation to site)



6. *Adequacy of existing water, sewer, road, storm water and electrical services, city parking and parklands for accommodating the development, and any projected infrastructure requirements.*

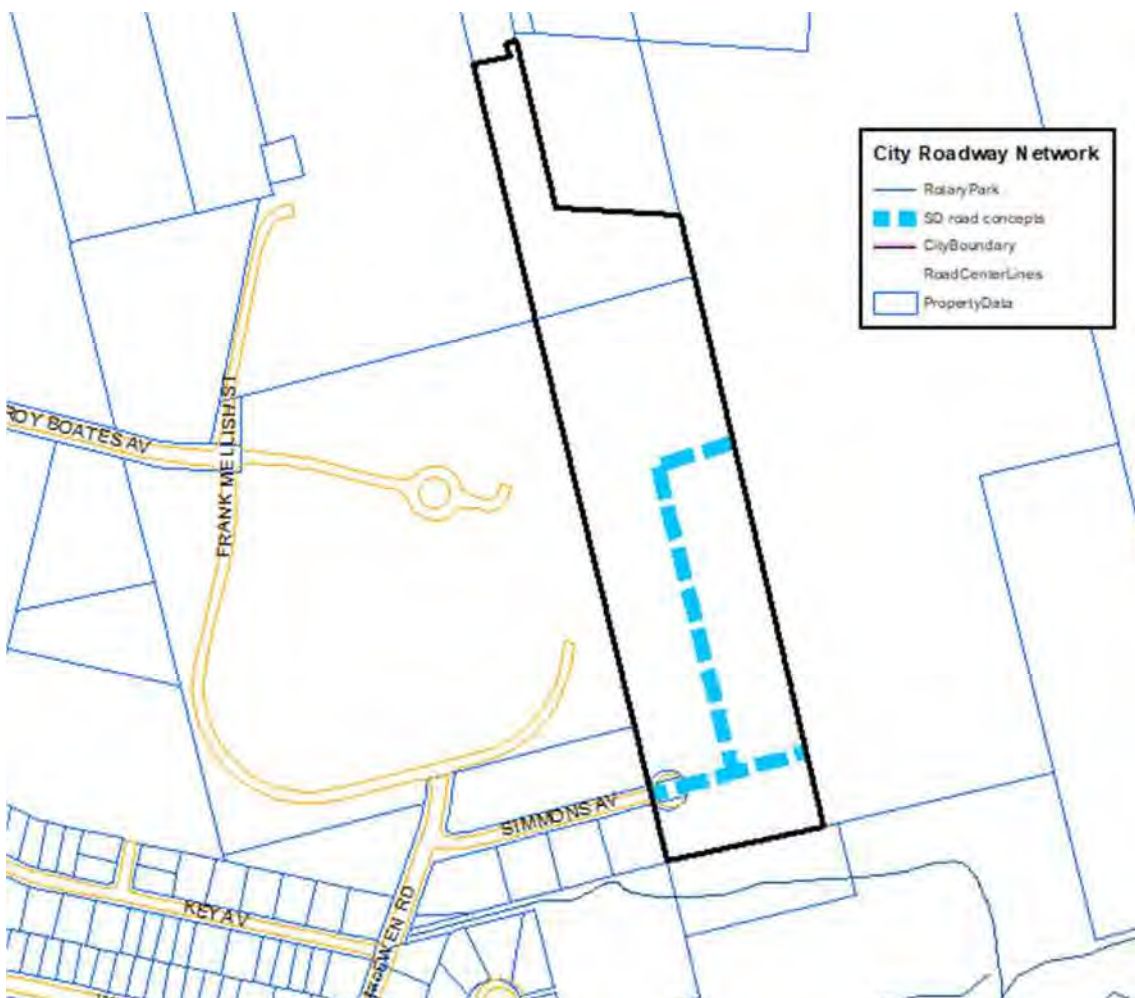
Staff Comment: The City's water supply in the area is adequate for the new zoning and the sewage treatment plant can handle the additional loading. New water and sewer infrastructure will have to be installed to service this new zoned area at the Developer's cost. Rezoning from Agricultural lands to CDA does have an impact on the sewage loading of the Granville Street North Lift Station. This change in zoning relates to an increase in load of approximately 60 cubic meters of sewage a day. This represents approximately a 4.5%

increase of sewage to the Granville Street North Lift Station, which translates to a \$68,050 cost to the utility. All infrastructure is to be designed and installed to meet City standards. The existing streets are designed to a city local standard and will accommodate the additional traffic from the development. The development will have to extend the existing Simmons Av storm system to the new development to accommodate a storm system for the new development as the Simmons Av system was designed to allow overland flow from the crest of the hill at the end of Simmons street profile. This new development will have to provide a stub street near north end of the new development , approximately 200m, from Simmons Av to meet the street minimum street length with a cul-de-sac of 220m. The Rotary Friendship Park is adjacent to the property (park entrance is 250m from subject parcel) and the Bluebell Park is located within 850m from the subject property. Parkland dedication is calculated upon subdivision of lands, which is not applicable in this application.

7. *Impacts from the development on pedestrian/vehicular access and safety, and on public safety generally.*

Staff Comment: Vehicle access from the development is intended to be MacEwen Road via Simmons Avenue. The developer is proposing the extension of public streets to the abutting lands to the east. The proposed north/south street will create a "T" intersection where it meets Simmons Av, the intersection will be controlled with a stop sign on the proposed north/south street. The site is pedestrian accessible via the new proposed north/south street via Simmons Avenue and MacEwen Road (sidewalk on east side of MacEwen Road).

EXTRACT OF CITY ROADWAY NETWORK MAP (with Developers Public Street Overlay)



8. *Compatibility of the development with environmental, scenic and heritage resources.*

Staff Comment: There are no environmental, scenic, nor heritage resources on this property. If the developer unearths an archeological or paleontological resource, they are required to report it to the relevant Minister per the Archeology Act.

9. *Impacts on City finances and budgets.*

Staff Comment:

10. *Other matters as specified in this Bylaw.*

Staff Comment: Not applicable

11. *Other matters as considered relevant.*

Staff Comment: The Housing Needs Assessment estimated an additional 1,250 dwelling units would be required by 2036 to accommodate population growth. Though we are on track to meet and surpass this projection, the Assessment was based on a lower population growth than Summerside has experienced over the last 5 years. It is expected Summerside's housing needs have increased.

STAFF REVIEW: City staff supports the proposed zoning amendments for the proposed Health and Learning District 1 and 2 for an Official Plan and Zoning Bylaw amendment for PID #1169465 and PID #71340 cumulatively known as 232 Simmons Avenue (amendments pages 8-10).

As per Section 5.10 (b, iii) of the Zoning Bylaw, the Planning Board shall make a recommendation to Council on this application before it is approved or denied.

The planning board recommendation whether carried or defeated will be brought forward to Council for a final decision.

PLANNING BOARD RECOMMENDATION: The application received from application from PCHF Investments Inc. for PID #1169465 and PID #71340 to amend the *City Official Plan and Zoning Bylaw* creating the CDA Zone (Health and Learning District 1 and 2), and Council designate the development officer to review and approve developments with the CDA Zone (Health and Learning District 1 and 2), be recommended to be approved by Council:

Moved by: _____ Seconded by: _____

Motion:

Carried	
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For	
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Defeated	
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Against	
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Proposed Zoning Amendments

Zoning Bylaw CS-40 is amended by:

Adding the following new Sections and headings in Section 21, the regulation numbers will be updated and done in consecutive order once included in the zoning bylaw:

Health and Learning District – 232 Simmons Ave

21. All permitted use developments within the Health and Learning District – 232 Simmons Ave shall be subject to approval by the Development Officer while discretionary uses shall be referred to Council for a decision.
21. Application for all developments in the Health and Learning District – 232 Simmons Ave shall be reviewed in accordance with the guidelines and standards in Section 5 of this Bylaw and *Summerside Official Plan 2018; Building Bylaw CS-31; and Subdivision & Site Development Bylaw SS-19* and any amendments thereto.
21. The area shall be divided into two Health and Learning Districts identified on Map 21-** as District #1 and District #2. The location, size and shape of the districts in Map 21-** are approximate. Minor adjustments to account for technical matters may be considered to the satisfaction of the Development Officer.

Permitted Uses

21. Subject to bylaw requirements, the following uses shall be permitted in Health and Learning District #1:

Permitted Uses		
COMMERCIAL		
accessory building	child care centre	commercial/residential

Permitted Uses		
INSTITUTIONAL		
accessory building	medical office	school, post-secondary
school premises		

21. Subject to bylaw requirements, the following uses shall be permitted in Health and Learning District #2:

Permitted Uses		
RESIDENTIAL		
accessory building	accessory dwelling unit (subject to section 8.24)	apartment building
boarding house	duplex dwelling	nursing care facility: community care and nursing home
rooming house	row house	semi-detached dwelling
town house		

Conditional Uses

21. Subject to Development Officer approval, the following uses shall be conditional in District #2:

Conditional Uses		
home based business	tourism establishment: vacation rental property	

Development Standards

21. Development of 232 Simmons Ave District #1, the following standards shall apply

District 1 Standards		Lot area	Lot depth	Lot width	Front yard	Side Yards	Rear yard	Flankage Yard
	m	690	0	23	6	3	6	5
	ft	7,427.2	0	75.4	19.7	9.8	19.7	16.4
Maximum Building Height		Maximum building height shall be 6 storeys except where otherwise approved by Council.						

21. Development of 232 Simmons Ave District #2, the R3 District standards shall apply, with the exception of the Apartment Building, where the R4 standards apply.

a. For factory constructed buildings, see additional standards in Section 8.10

General Standards

21. a. Parking for District #1 shall be calculated as follows:

- i Child Care Centre: 1 space/employee + 1 drop off space per classroom.
- ii Residential uses: 1 space/dwelling unit
- iii Medical Office: 1 space/employee + 2 spaces/treatment room

b. Parking for District #2 shall be calculated per Section 10.5.

21. Notwithstanding 21. (above) parking for District #1 may be accommodated on a separate parcel where

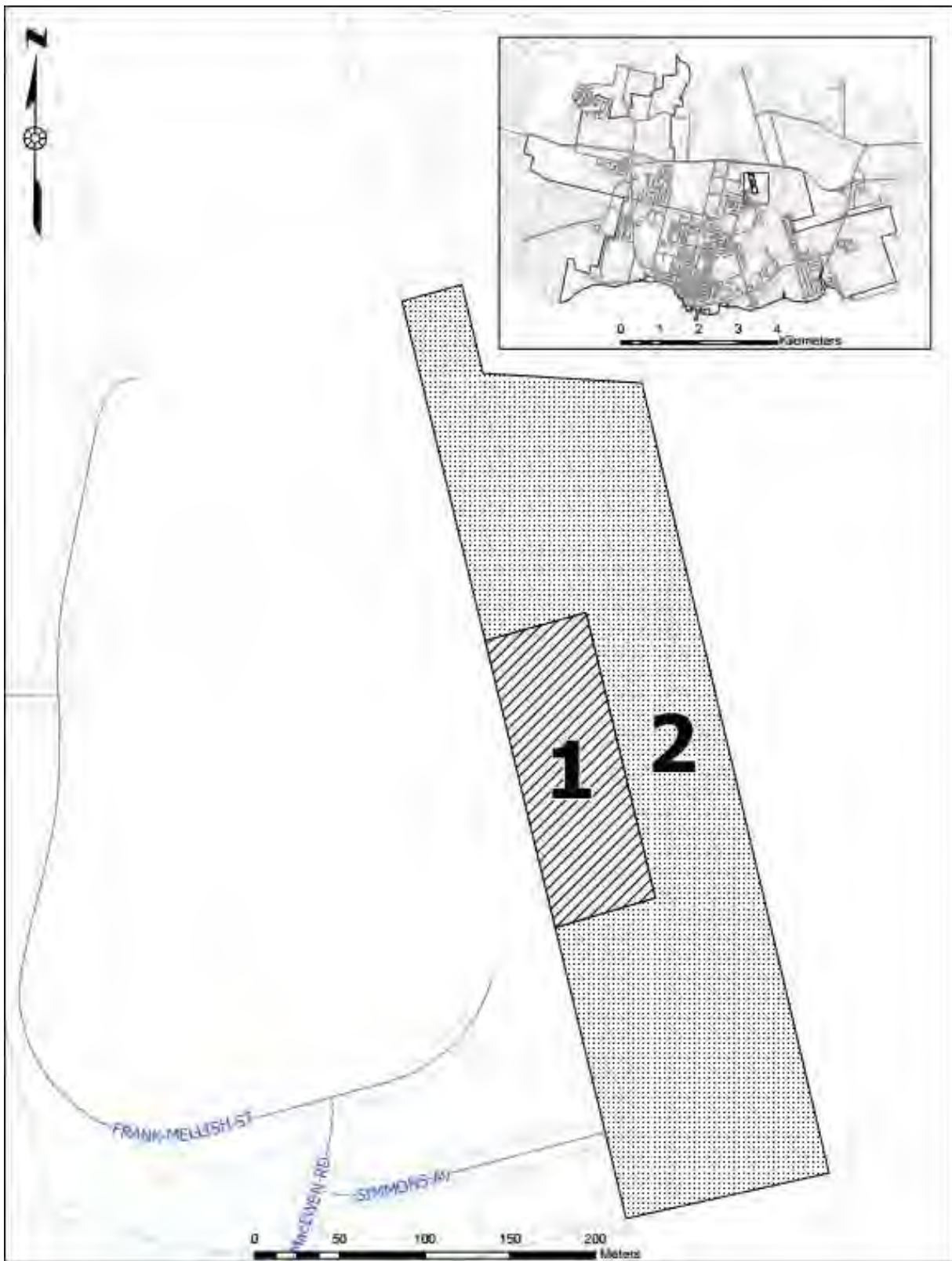
- a. the parcels are directly adjacent to each other, and
- b. a form of pedestrian walkway connects the two parcels.

This does not apply to accessible parking spots. Accessible parking spots for uses within District #1 must be accommodated on the subject parcel.

21. All portions of the lot not covered by structures, parking, or traffic circulation areas shall be landscaped.

Landscaping may include but is not limited to grass, plants, shrubs, sod, and trees.

21. Notwithstanding Section 8.9, more than one main building is permitted on a lot within this CDA – Health and Learning District - 232 Simmons Ave.



Map 21. Health and Learning District – 232 Simmons Ave

August 5, 2025

Department/Committee: Planning Board

Subject: 185 Pope Road (Official Plan and Zoning Amendment)

SUPPORTING EXPLANATION:

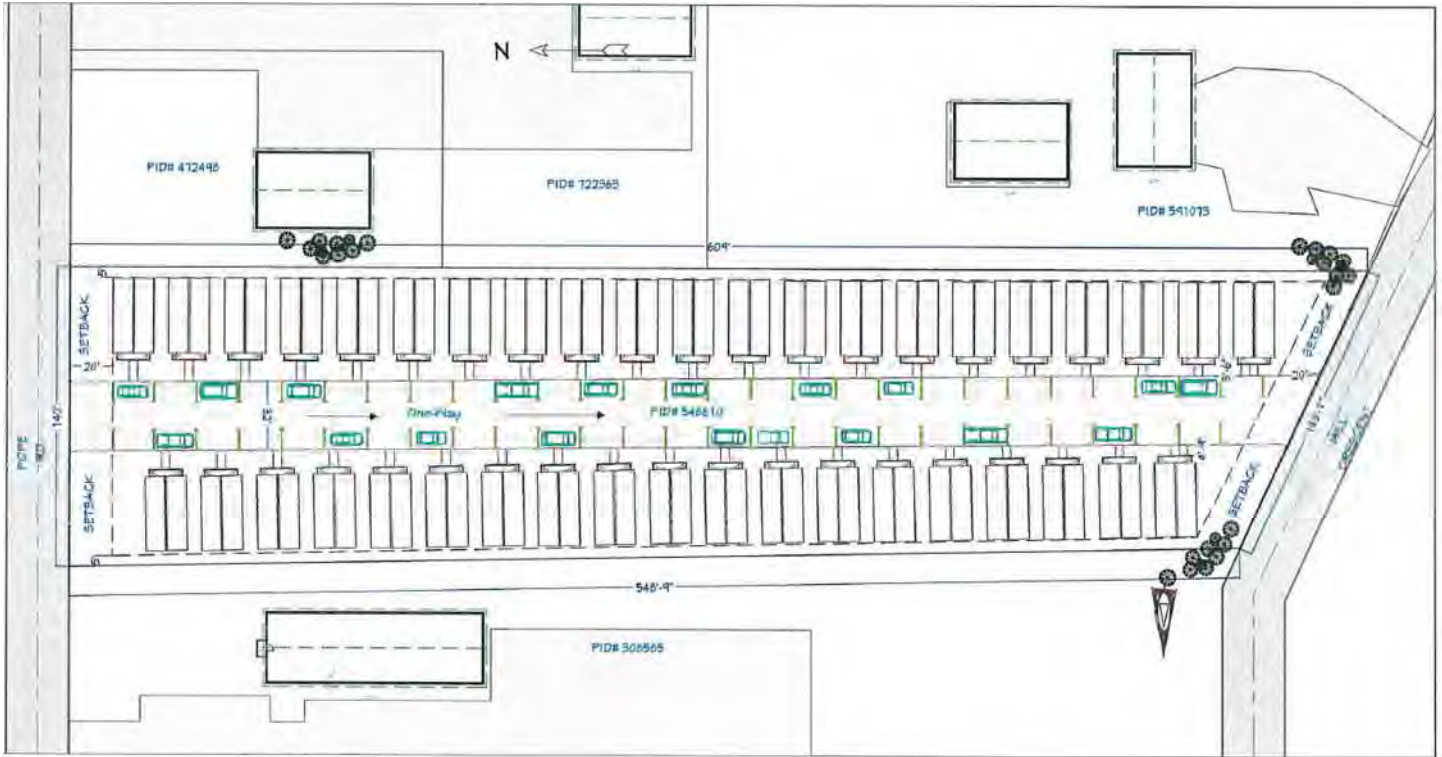
Purpose: The purpose of this Official Plan and Zoning Bylaw amendment is to amend Official Plan's Schedule 'B': "Future Land Use Map", to redesignate the subject parcels from Industrial to Comprehensive Development Area. It is also proposing to amend the Zoning Bylaw Schedule A (Bylaw Text) and Schedule 'B' (Zoning Map)" for the purpose of rezoning the subject parcels from Light Industrial (M1) zone to Comprehensive Development Area (CDA) zone.

Background: An application was received from Harcor Holdings Inc. for an Official Plan and Zoning Bylaw amendment that affects PID #548610 known as 185 Pope Road. The purpose of this Official Plan and Zoning Bylaw amendment is to amend the existing industrial land use and zoning to Comprehensive Development Area District to create an overlay that designates a development area (Cluster Residential District) and defines the permitted uses for the area.

MAP OF PROPOSED CDA PLAN DISTRICT



DEVELOPMENT PLAN VIEW



Report: Under section 5.7 of the zoning bylaw when Planning Board reviews a zoning bylaw amendment, it has to consider the following general criteria, as applicable. Under Section 8.4 of the Parks and Green Space Plan, the criteria of 2, 3, 5, 7 and 8 must be considered:

1. Conformity with all requirements of this Bylaw.

Staff Comment: The process to adopt and develop this comprehensive development area has followed the Zoning Bylaw requirements.

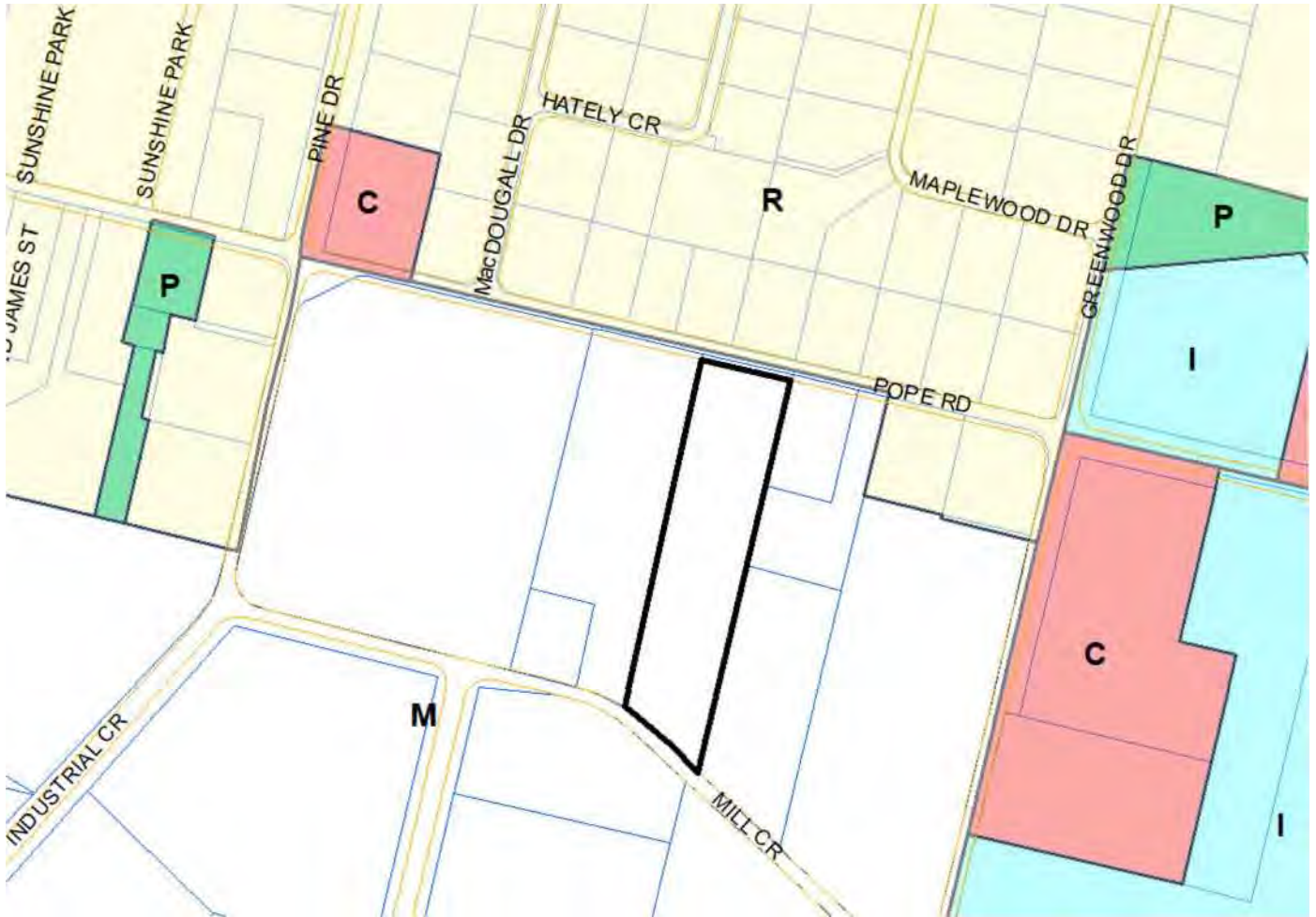
2. Conformity with the Official Plan.

Staff Comment: The proposed Official Plan Amendment aligns with the Official Plan. This proposal supports a number of objectives and policies within the Official Plan. Namely:

- under Section 3.4 which aims to "foster growth strategies that focus on making Summerside a sustainable community" as well as the policies to promote higher density development, mix land uses, and promote a range of housing types.
- and under Section 5.1.1 which aims to "promote all housing types in the city" and to "include zones to accommodate all housing types" as well as the policies to promoting residential densities, and to maintain the CDA for promoting innovative responses to unique development opportunities.

The industrial section of the OP aims to support new industries with a focus on quality industries and their respective market segments, to develop quality industrial parks that have good transportation accessibility, and to minimize conflicts with other land uses. It does not speak specifically to how industrial uses interact with residential uses. Even though the OP is silent on this matter, it cannot be assumed it supports it. Staff addresses compatibility and land use conflict below.

EXTRACT OF FUTURE LAND USE MAP



3. Suitability of the site for the proposed development.

Staff Comment: The 16 (+/-) acre site is suitable for development and will be required to be developed as per City bylaws and standards. The property is intended to be further subdivided with extension of City roads and servicing.

4. Compatibility of the proposed development with surrounding land uses, including both existing and projected uses.

Staff Comment: There are a variety of land uses surrounding the proposed development: agricultural, residential, parkland, institutional, and a special use zone that houses the substation. These uses are all generally compatible with the proposed development.

The need to separate industrial and residential development from each other is one of the primary reasons for land use zoning. Not only does this separation limit the exposure of residents to the hazards and nuisance factors typically present in industrial developments, but it ensures industrial developments, a major economic driver for municipalities, are able to develop and expand without needing to take extra steps to protect the adjacent landowners.

It is apparent by the development within and surrounding the Greenwood industrial area that it's in transition. There is significant residential encroachment: it's surrounded on all sides by low to medium density residential uses. This industrial area is also majority developed; the uses within it are light industrial in nature and include storage, shipping,

autobody repair, and a construction lay-down business. Other uses include a church, medical offices, and a fish mart, further indication that this industrial area is under transition.

To date, staff have been made aware of complaints from the adjacent residential properties speaking against the nuisances produced by the storage of seaweed on the subject parcel.

While allowing the rezoning of this parcel to a residential-type use follows the direction this industrial area is taking, it's important to understand that Council and staff will still receive complaints due to the conflicting nature of the uses. These types of complaints likely won't end until this area has finished transitioning. During this transition phase, mitigation of nuisance factors, ensuring pedestrian safety, and separating residential and industrial traffic are ways to minimize conflicts and complaints. Considerations include:

- The location of a sidewalk, to discourage pedestrians from crossing the industrial accesses.
- The traffic flow into and out of the proposed development. In order to reduce the turning conflicts in and out of the development.
- Screening from adjacent parcels. While not included in the proposed CDA zone, considerations may be made to require opaque screening; this will keep future residents from trespassing onto adjacent industrial lots from their rear yard and will block any potential unsightliness from their view.

EXTRACT OF ZONING MAP



5. Any comments from residents or other interested persons.

Staff Comment: A public meeting was held on July 21, 2025. The public meeting notice was advertised in the July 5th, edition of the Guardian. Twenty-four (24) letters were mailed to twenty-one (21) property owners, 2 of the properties notified were owned by the applicant. The applicant, Jamie Rogerson (Representing Harcor Holdings inc.) provided an overview of the development (CDA Plan) outlining the intended uses. No one from the public spoke at the public meeting, no written comments were received regarding this development.

6. *Adequacy of existing water, sewer, road, storm water and electrical services, city parking and parklands for accommodating the development, and any projected infrastructure requirements.*

Staff Comment: The City's water supply and sewer treatment systems can handle the loading from this proposed CDA development. This development fronts Pope Road and Mill Crescent, a one-way access from Pope Road (entrance) to exit on to Mill Crescent. The proposed access locations meet the City standards. This access already exists along Pope Road and a new access will need to be installed on the Mill Crescent with a culvert across the existing ditch system at the developers cost. The development will have access to a city sidewalk on the south side of Pope Road. The development will be required to provide a drainage plan showing how the drainage will flow from the site will be directed to the city storm systems on Pope and Mill Crescent. Summerside Electric has identified there is inadequate space to provide overhead powerlines on currently proposed layout plans and given street/building density. Developer must allocate space for underground powerlines and ground mounted transformers/URD boxes. It is believed this will require elimination or relocation of some structures to make room for electrical equipment. The developer is responsible to submit engineering plans for underground electric servicing to Summerside Electric to review. All costs of UG electrical construction and design is at the developer's cost. Once plans are available, Summerside Electric will offer quotes. The Crescent Drive Park is located within 720m from the subject property. Parkland dedication is calculated upon subdivision of lands, this development will not be further subdivided, thus parkland dedication is not applicable in this application.

7. *Impacts from the development on pedestrian/vehicular access and safety, and on public safety generally.*

Staff Comment: This development will add additional traffic flow to the existing Pope Road and Mill Crescent, but it should be split on to both streets with the access being one way from Pope Road to Mill Crescent. Both streets will be able to accommodate the additional traffic. Pope Road has an approximate VPD of 8-9000, while we do not have traffic count information on Mill Crescent but would expect it to be no greater than 5-600 VPD. Both streets will be able to handle the additional flow. The site is pedestrian accessible via sidewalk on the south side of Pope Road.

8. *Compatibility of the development with environmental, scenic and heritage resources.*

Staff Comment: There are no environmental, scenic, nor heritage resources on this property. If the developer unearths an archeological or paleontological resource, they are required to report it to the relevant Minister per the Archeology Act.

9. *Impacts on City finances and budgets.*

Staff Comment:

10. *Other matters as specified in this Bylaw.*

Staff Comment: Not applicable

11. *Other matters as considered relevant.*

Staff Comment: The Housing Needs Assessment, completed in April of 2021 stated a further 1,025 to 1,250 dwelling units would be needed over the next 15 (now 11) years to meet expected population growth. We are on track to surpass this. However the Housing Needs Assessment was completed prior to Statistics Canada releasing census.

Summerside's population growth from 2016-2021 was 7%; the dwelling unit projection in the Housing Needs Assessment was based on a 0.5% annual growth. Summerside will require more than 1,250 dwelling units to meet current and future housing needs, and this proposed development lends itself not only towards the need for dwelling units, but for the need of different types of dwellings. The Director of Economic Development also provides comments regarding the application for Council's consideration, see pages 9 and 10.

There are economic development implications for the City of Summerside. The comments from the Economic Development Department have been attached to this report.

STAFF REVIEW: City staff supports the proposed amendments for the proposed Cluster Residential District for an Official Plan and Zoning Bylaw amendment for PID #548610, known as 185 Pope Road (amendments pages 7-8).

As per Section 5.10 (b, iii) of the Zoning Bylaw, the Planning Board shall make a recommendation to Council on this application before it is approved or denied.

The planning board recommendation whether carried or defeated will be brought forward to Council for a final decision.

PLANNING BOARD RECOMMENDATION: The application received from application from Harcor Holdings Inc. for PID #548610 to amend the *City Official Plan and Zoning Bylaw* creating the CDA Plan (Cluster Residential District), and Council designate the development officer to review and approve developments with the CDA Zone (Cluster residential District), be recommended to be approved by Council:

Moved by: _____ Seconded by: _____

Motion:

Carried	
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For	
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Defeated	
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Against	
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Cluster Residential District – 185 Pope Road

21. All permitted use developments within the Cluster Residential District – 185 Pope Road shall be subject to approval by the Development Officer while discretionary uses shall be referred to Council for a decision.
21. Application for all developments in the Cluster Residential District – 185 Pope Road shall be reviewed in accordance with the guidelines and standards in Section 5 of this Bylaw and *Summerside Official Plan 2018; Building Bylaw CS-31; and Subdivision & Site Development Bylaw SS-19.*

Definitions

21. Dwelling, Cluster Residential means a group of four (4) or more single-detached residential buildings located on a single lot.

Permitted Uses

21. Subject to bylaw requirements, the following uses shall be permitted:

Permitted Uses		
RESIDENTIAL		
accessory building	dwelling, cluster residential	

Conditional Uses

21. Subject to Development Officer approval:

Conditional Uses		
RESIDENTIAL		
home based business		

Development Standards

21. Development of 185 Pope Road shall conform with the following standards, where the front yard abuts Pope Road and the rear yard abuts Mill Crescent:

Cluster Residential District		Min. Front yard	Min. Side yards	Min. Rear yard	Max. height	Min. Distance between buildings
single detached dwelling (group)	m	6	2	6	4.6	4
	ft	19.7	6.6	19.7	15	13.12

Servicing Standards

- 21.
- a) each dwelling shall front onto a paved service road connecting to a street R.O.W.;
 - b) all service roads shall be a one-way with a minimum of 3.6 m (11.8 ft) for the driving lane;
 - c) each dwelling shall have service connections to water and sewer laterals serving the lot, but no dwelling shall be sited over such a lateral;
 - d) a Drainage Plan the considers the development of the entire lot is required as part of the permit application.

General Standards

21. One (1) parking space shall be provided per dwelling unit.
21. All portions of the lot not covered by structures, parking or traffic circulation areas shall be landscaped.
21. Notwithstanding Section 8.9, more than one main building is permitted on a lot within this CDA – Cluster Residential District – 185 Pope Road.



Map 21. Cluster Residential District – 185 Pope Road

Economic Development Commentary on Employment Land Rezoning Request

Economic Development has been asked to provide input on a request to rezone existing employment lands for residential use. While these lands are somewhat isolated and may no longer represent the highest economic use due to surrounding development, we do not see significant harm in converting these specific parcels. However, any such decisions must be approached with greater strategic consideration.

Position and Context

Economic Development continues to advocate for the preservation of industrial lands as essential to long-term economic sustainability, job creation, and municipal revenue. While residential growth is critical, it cannot come at the continued expense of employment land a trend that seems to go unheard.

The Mayor's Task Force on Housing (2024) confirms that sufficient residential lands already exist to meet future demand, reducing the need for ad hoc rezonings—especially in established industrial zones. Although the report focuses on residential land supply, it reinforces the need for a parallel commitment to employment land planning to maintain economic diversity and future growth capacity.

Rezoning employment lands for housing may yield short-term benefits, but risks include loss of investor confidence, reduced space for future businesses, and incompatibility issues between residential and industrial uses.

Key Considerations

- 1. Vision for Employment Lands**
A clear, long-term strategy is needed to guide the use and protection of Summerside's limited employment lands.
- 2. Preservation Measures**
Stronger safeguards must be in place to prevent the erosion of industrial zones.
- 3. Zoning Consistency**
Rezoning should align with the original economic intent of industrial clusters.
- 4. Impact on Industrial Tenants**
Introducing residential uses may create conflicts with current or future industrial operations.
- 5. Challenges to Future Expansion**
Non-conforming residential uses can restrict future industrial growth and undermine economic goals.

Recommendation: If rezoning is approved, an equivalent industrial land bank should be established to offset the loss.

Long-Term Recommendations

- 1. Employment Land Planning Study**
Launch a comprehensive study to assess future employment land needs and align with shifts in logistics, labor, and real estate demand.
- 2. Improved Rezoning Coordination**
Enhance interdepartmental review processes to ensure thorough and timely input on rezoning requests.

3. **Land Inventory**

Develop a complete inventory of residential and employment lands (built and greenfield) to support balanced growth.

4. **Resource Allocation**

Provide Economic Development with resources to replenish employment land stock as needed.

Conclusion

While some flexibility is warranted, continued rezoning of employment lands for residential use risks long-term economic health. A balanced, proactive planning approach is essential to ensure Summerside remains a resilient and diversified economy.

Planning Board Meeting Minutes

August 5, 2025

Present

Mayor Dan Kutcher, Planning Board member
Deputy Mayor Cory Snow
Councillor Bruce MacDougall
Councillor Justin Doiron, Chair
Councillor Nick Cameron
Councillor Norma McColeman
Councillor Ken Trenholm, Planning Board member
Councillor Rick Morrison
Councillor Carrie Adams, Planning Board member
Kristen Dunsford, Director of Financial Services
JP DesRosiers, Chief Administrative Officer
Linda Stevenson, Development Officer
Aaron MacDonald, Director of Technical Services
Sandra Zarvie, Executive Assistant
Members of the Media
Members of the Public

Call to Order / Approval of Agenda / Land Acknowledgement / Conflict of Interest Declaration

The meeting was called to order by Mayor Kutcher at 5:02PM

Motion It was moved and seconded;
That The Agenda be approved as circulated.
Motion Carried

Land Acknowledgement - We acknowledge that the land upon which we gather is unceded Mi'kmaq territory. Epekwitk is covered by the historic Treaties of Peace and Friendship. We pay our respects to the Indigenous Mi'kmaq People who have occupied this island for over 12,000 years; past, present, and future.

Conflict of Interest Declaration – There were no conflicts declared by any Council member with any item on the agenda

SUPPORTING EXPLANATION:

Purpose: The purpose of this Official Plan and Zoning Bylaw amendment is to amend Official Plan's Schedule 'B': "Future Land Use Map", to redesignate the subject parcels from Agriculture to Comprehensive Development Area. It is also proposing to amend the Zoning Bylaw Schedule A (Bylaw Text) and Schedule 'B' (Zoning Map)" for the purpose of rezoning the subject parcels from Agricultural (A) zone to Comprehensive Development Area (CDA) zone.

Background: An application was received from PCHF Investments Inc. for an Official Plan and Zoning Bylaw amendment that affects PID #1169465 and PID #71340 cumulatively known as 232 Simmons Avenue. The purpose of this Official Plan and Zoning Bylaw amendment is to amend the existing Agricultural land use and zoning to Comprehensive Development Area District to create an overlay that designates two separate development areas (Health and Learning District 1 and 2) and defines the permitted uses for each area.

Report: Under section 5.7 of the zoning bylaw, when Planning Board reviews a zoning bylaw amendment, it has to consider the following general criteria, as applicable. Under Section 8.4 of the Parks and Green Space Plan, the criteria of 2, 3, 5, 7 and 8 must be considered:

1. Conformity with all requirements of this Bylaw.

Staff Comment: The process to adopt and develop this comprehensive development area aligns with the Zoning Bylaw.

2. Conformity with the Official Plan.

Staff Comment: The proposed Official Plan Amendment aligns with the Official Plan. This proposal supports a number of objectives and policies within the Official Plan. Specifically:

- Section 3.4 "To foster growth strategies that focus on making Summerside a sustainable community". It proposes to have a higher density development, and it contains a mix of land uses.
- Section 5.1.1 "To promote all housing types in the city"
- Section 5.3 "To encourage high density housing"
- Section 5.8.1, where the policies and objectives speak more to housing and the types of appropriate institutional uses, the proposed rezoning supports the Goal "to provide adequate and cost-effective institutional facilities to serve community needs for education and training, culture, recreation, health care, public safety and government, taking account of how population changes will affect demands for certain services." The applicant has explained the medical centre will include a health education and training centre, housing for students, and will implement the 'patient care home' model; which is the direction PEI Health is moving to provide better healthcare for the residents of PEI.

To specifically address the concerns around the development of agricultural lands: the proposed development aligns with the objective of Section 4.0 to "achieve effective growth management through best planning practices" specifically the policy to protect agricultural lands from premature development, speculation and other harmful urban impacts, with particular focus on agricultural lands on the City's periphery. It also supports the objective of Section 5.11 "To conserve agricultural lands". It is important to understand an urban municipality's role in protecting agricultural lands; it is not to prohibit the development of

agricultural lands within our boundaries. An urban municipality annexes agricultural lands within their boundaries for long-term growth; to ensure there are lands available as the municipality grows. Their role is to provide serviced, developable land. In this way, an urban municipality protects the agricultural lands in the rural municipalities or unincorporated areas.

An urban municipality must ensure development of agricultural lands is done sustainably i.e.:

- Encouraging redevelopment of areas already built and with access to infrastructure,
- Encouraging development of agricultural lands be higher density, and
- Prohibiting leapfrogging (which is when a development skips over vacant land directly adjacent to developed lands in favour of land further away).

This proposed development is to support the hospital. To better serve it, the proposed development needed to be within the vicinity of it, which ruled out redevelopment of another lot. It is directly adjacent to the hospital, so it isn't leapfrogging. And the proposed residential uses are medium to high density. The amendments do not impact the Parks and Greenspace Plan.

3. *Suitability of the site for the proposed development.*

Staff Comment: The +/-16 acre site is suitable for development and will be required to be developed as per City bylaws and standards. The property is intended to be further subdivided with extension of City roads and servicing.

4. *Compatibility of the proposed development with surrounding land uses, including both existing and projected uses.*

Staff Comment: There are a variety of land uses surrounding the proposed development: agricultural, residential, parkland, institutional, and a special use zone that houses the substation. These uses are all generally compatible with the proposed development and specifically support the institutional use.

5. *Any comments from residents or other interested persons.*

Staff Comment: A public meeting was held on July 21, 2025. The public meeting notice was advertised in the July 5th edition of the Guardian. Twelve (12) letters were mailed to thirteen (13) property owners, 2 of the properties notified were owned by the applicant. The applicant, Derek Bondt (President of PCHF Board) provided an overview of the development (CDA Plan) outlining the intended uses. Byron Paupitt (497 Sherbrooke Rd) concerns/matters he raised at the public meeting included:

- that City is developing agricultural land

The concerns/matters raised at the public meeting have been addressed throughout this report.

6. *Adequacy of existing water, sewer, road, storm water and electrical services, city parking and parklands for accommodating the development, and any projected infrastructure requirements.*

Staff Comment: The City's water supply in the area is adequate for the new zoning and the sewage treatment plant can handle the additional loading. New water and sewer infrastructure will have to be installed to service this new zoned area at the Developer's cost. Rezoning from Agricultural lands to CDA does have an impact on the sewage loading of the Granville Street North Lift Station. This change in zoning relates to an increase in load of approximately 60 cubic meters of sewage a day. This represents approximately a 4.5% increase of sewage to the Granville Street North Lift Station, which translates to a \$68,050 cost to the utility. All infrastructure is to be designed and installed to meet City standards.

The existing streets are designed to a city local standard and will accommodate the additional traffic from the development. The development will have to extend the existing Simmons Av storm system to the new development to accommodate a storm system for the new development as the Simmons Ave system was designed to allow overland flow from the crest of the hill at the end of Simmons street profile. This new development will have to provide a stub street near north end of the new development , approximately 200m, from Simmons Av to meet the street minimum street length with a cul-de-sac of 220m. The Rotary Friendship Park is adjacent to the property (park entrance is 250m from subject parcel) and the Bluebell Park is located within 850m from the subject property. Parkland dedication is calculated upon subdivision of lands, which is not applicable in this application.

7. Impacts from the development on pedestrian/vehicular access and safety, and on public safety generally.

Staff Comment: Vehicle access from the development is intended to be MacEwen Road via Simmons Avenue. The developer is proposing the extension of public streets to the abutting lands to the east. The proposed north/south street will create a "T" intersection where it meets Simmons Av, the intersection will be controlled with a stop sign on the proposed north/south street. The site is pedestrian accessible via the new proposed north/south street via Simmons Avenue and MacEwen Road (sidewalk on east side of MacEwen Road).

8. Compatibility of the development with environmental, scenic and heritage resources.

Staff Comment: There are no environmental, scenic, nor heritage resources on this property. If the developer unearths an archeological or paleontological resource, they are required to report it to the relevant Minister per the Archeology Act.

9. Impacts on City finances and budgets.

Staff Comment: *Not applicable*

10. Other matters as specified in this Bylaw.

Staff Comment: *Not applicable*

11. Other matters as considered relevant.

Staff Comment: The Housing Needs Assessment estimated an additional 1,250 dwelling units would be required by 2036 to accommodate population growth. Though we are on track to meet and surpass this projection, the Assessment was based on a lower population growth than Summerside has experienced over the last 5 years. It is expected Summerside's housing needs have increased.

STAFF REVIEW: City staff supports the proposed zoning amendments for the proposed Health and Learning District 1 and 2 for an Official Plan and Zoning Bylaw amendment for PID #1169465 and PID #71340 cumulatively known as 232 Simmons Avenue (amendments pages 8-10).

As per Section 5.10 (b, iii) of the Zoning Bylaw, the Planning Board shall make a recommendation to Council on this application before it is approved or denied.

The planning board recommendation whether carried or defeated will be brought forward to Council for a final decision.

PLANNING BOARD RECOMMENDATION: The application received from application from PCHF Investments Inc. for PID #1169465 and PID #71340 to amend the *City Official Plan and Zoning Bylaw* creating the CDA Zone (Health and Learning District 1 and 2), and Council designate the development officer to review and approve developments with the CDA Zone (Health and Learning District 1 and 2), be recommended to be approved by Council:

Moved by: Councillor Doiron

Seconded by: Councillor Trenholm

Questions or Comments:

Councillor Trenholm asked about the staff's reference for the Housing Needs Assessment of 2021 instead of the 2023 Mayor's Housing Task Force numbers which offer two different sets of housing dwelling numbers. Staff response was that it was a staff error.

Mayor Kutcher addressed concerns regarding increased traffic on the privately owned street network of Frank Mellish Drive, noting that the roads are not built to city standards. In response, Director Aaron MacDonald clarified that staff have reviewed the applicant's request and confirmed it does not include a direct connection to Frank Mellish Drive. He further stated that the intent of the proposal is to direct traffic away from the privately owned street network. Mayor Kutcher considered the City may want to in the future address the Province, owners of Frank Mellish, on discussion of development of the street to meet city standard.

Motion:

Carried	x
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For	4
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Defeated	
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Against	0
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Resolution will go to Committee of the Whole meeting on September 2 for decision.

Recommendation – 185 Pope Road – Official Plan & Zoning Bylaw amendments

SUPPORTING EXPLANATION:

Purpose: The purpose of this Official Plan and Zoning Bylaw amendment is to amend Official Plan's Schedule 'B': "Future Land Use Map", to redesignate the subject parcels from Industrial to Comprehensive Development Area. It is also proposing to amend the Zoning Bylaw Schedule A (Bylaw Text) and Schedule 'B' (Zoning Map)" for the purpose of rezoning the subject parcels from Light Industrial (M1) zone to Comprehensive Development Area (CDA) zone.

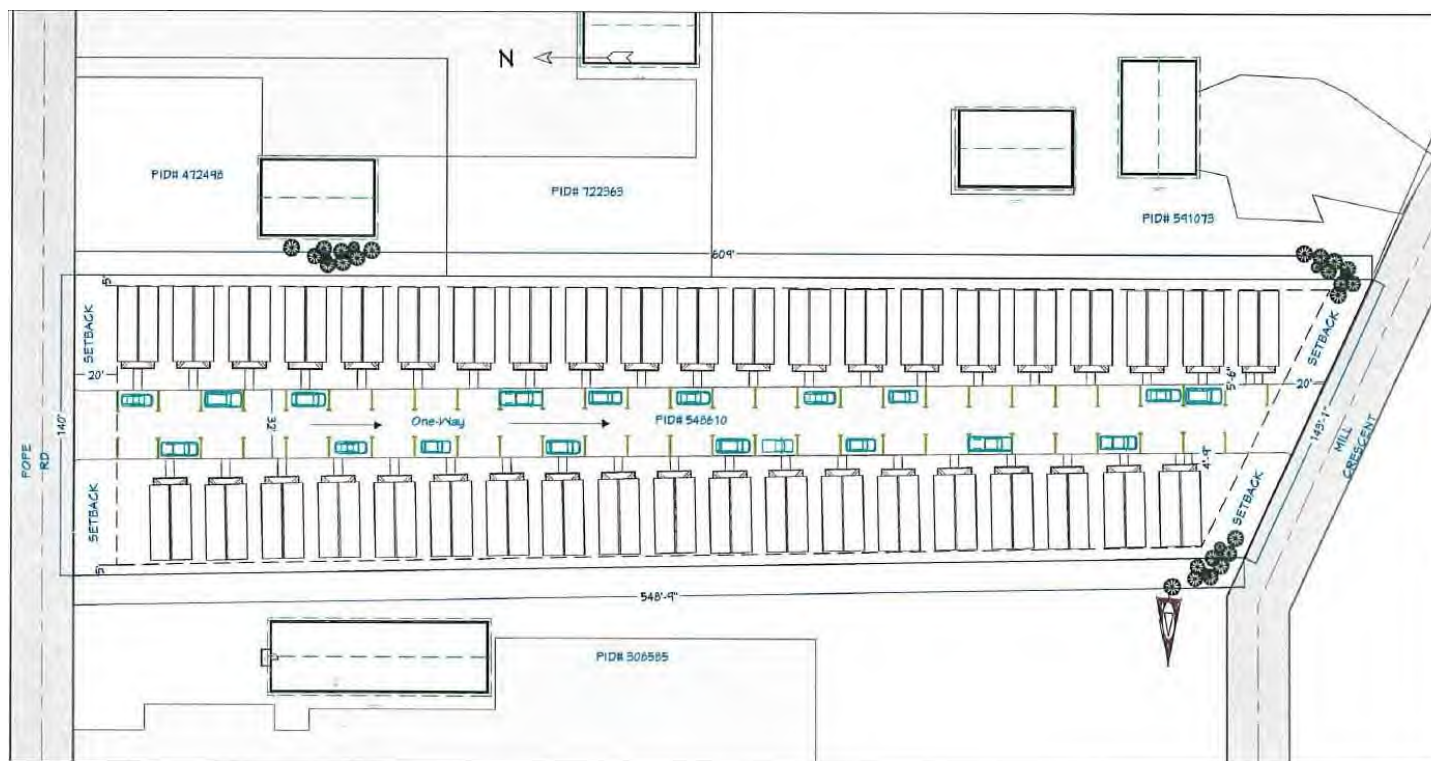
Background: An application was received from Harcor Holdings Inc. for an Official Plan and Zoning Bylaw amendment that affects PID #548610 known as 185 Pope Road. The purpose of this Official Plan and Zoning Bylaw amendment is to amend the existing industrial land use and zoning to Comprehensive Development Area District

to create an overlay that designates a development area (Cluster Residential District) and defines the permitted uses for the area.

MAP OF PROPOSED CDA PLAN DISTRICT



DEVELOPMENT PLAN VIEW



Report: Under section 5.7 of the zoning bylaw when Planning Board reviews a zoning bylaw amendment, it has to consider the following general criteria, as applicable. Under Section 8.4 of the Parks and Green Space Plan, the criteria of 2, 3, 5, 7 and 8 must be considered:

3. Conformity with all requirements of this Bylaw.

Staff Comment: The process to adopt and develop this comprehensive development area has followed the Zoning Bylaw requirements.

4. Conformity with the Official Plan.

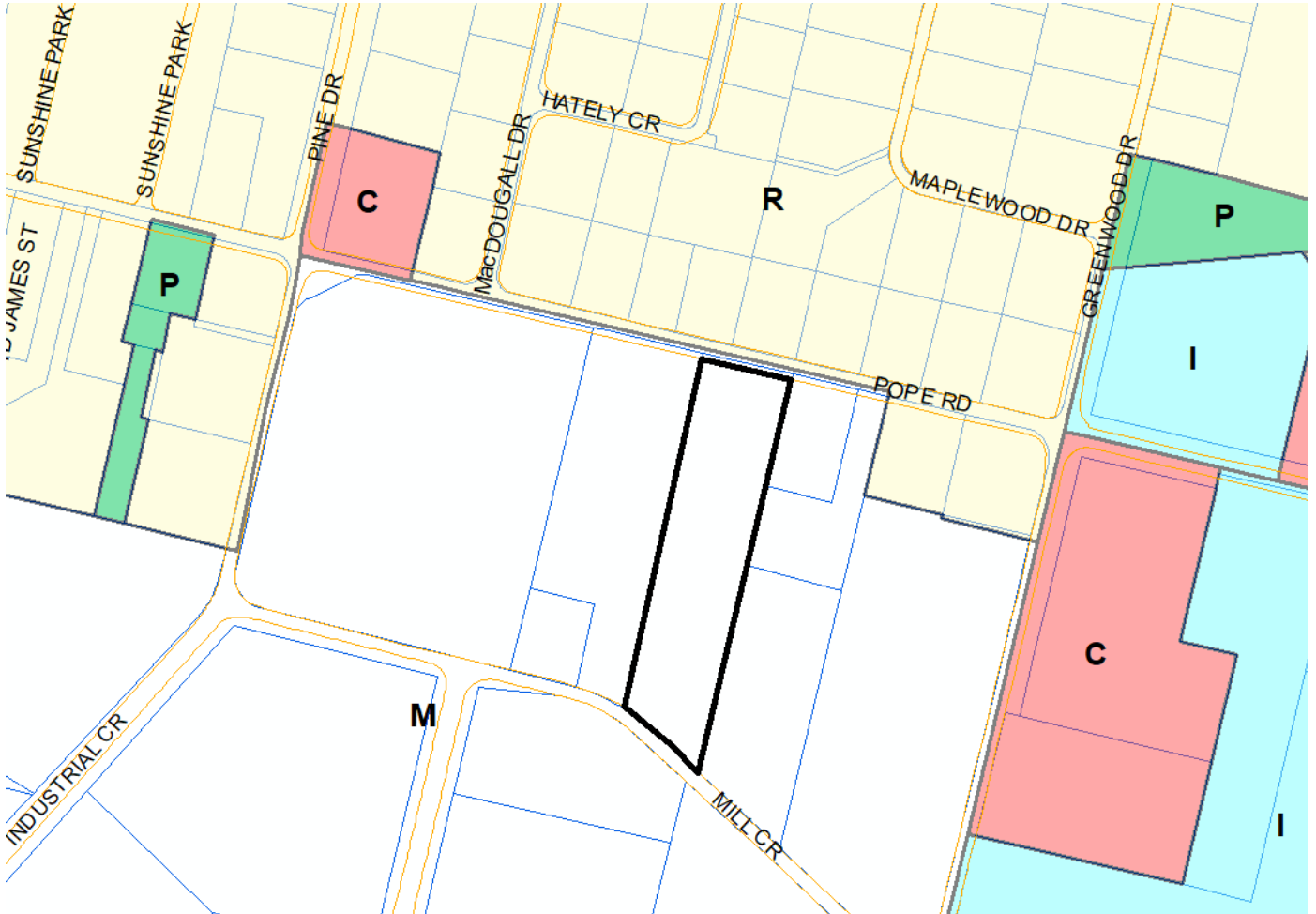
Staff Comment: The proposed Official Plan Amendment aligns with the Official Plan. This proposal supports a number of objectives and policies within the Official Plan. Namely:

- under Section 3.4 which aims to "foster growth strategies that focus on making Summerside a sustainable community" as well as the policies to promote higher density development, mix land uses, and promote a range of housing types.
- and under Section 5.1.1 which aims to "promote all housing types in the city" and to "include zones to accommodate all housing types" as well as the policies to promoting residential densities, and to maintain the CDA for promoting innovative responses to unique development opportunities.

The industrial section of the OP aims to support new industries with a focus on quality industries and their respective market segments, to develop quality industrial parks that have good transportation accessibility, and to minimize conflicts with other land uses. It does not speak specifically to how industrial uses interact with residential uses. Even though the

OP is silent on this matter, it cannot be assumed it supports it. Staff addresses compatibility and land use conflict below.

EXTRACT OF FUTURE LAND USE MAP



3. *Suitability of the site for the proposed development.*

Staff Comment: The 16 (+/-) acre site is suitable for development and will be required to be developed as per City bylaws and standards. The property is intended to be further subdivided with extension of City roads and servicing.

4. *Compatibility of the proposed development with surrounding land uses, including both existing and projected uses.*

Staff Comment: There are a variety of land uses surrounding the proposed development: agricultural, residential, parkland, institutional, and a special use zone that houses the substation. These uses are all generally compatible with the proposed.

The need to separate industrial and residential development from each other is one of the primary reasons for land use zoning. Not only does this separation limit the exposure of residents to the hazards and nuisance factors typically present in industrial developments,

but it ensures industrial developments, a major economic driver for municipalities, are able to develop and expand without needing to take extra steps to protect the adjacent landowners.

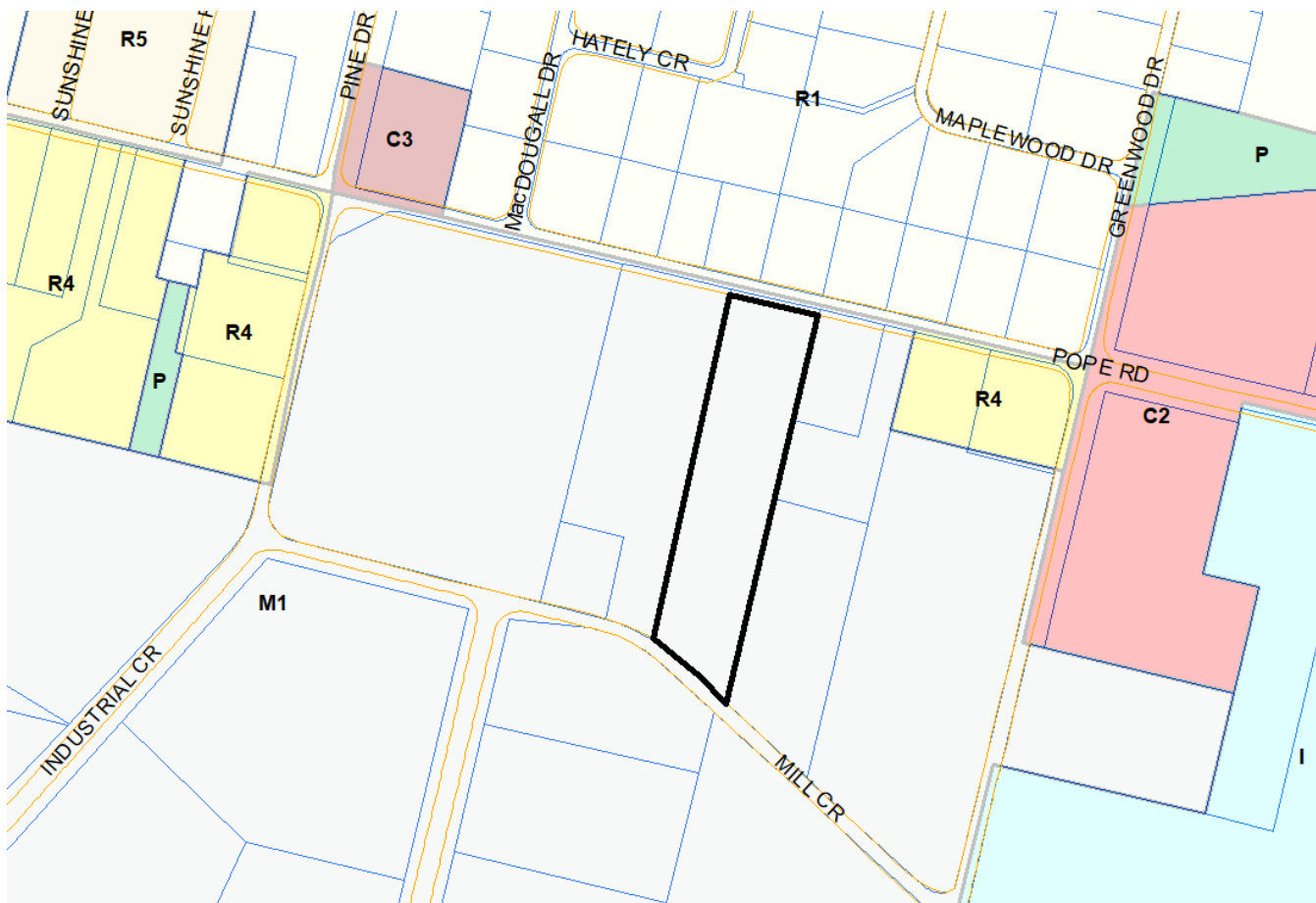
It is apparent by the development within and surrounding the Greenwood industrial area that it's in transition. There is significant residential encroachment: it's surrounded on all sides by low to medium density residential uses. This industrial area is also majority developed; the uses within it are light industrial in nature and include storage, shipping, autobody repair, and a construction lay-down business. Other uses include a church, medical offices, and a fish mart, further indication that this industrial area is under transition.

To date, staff have been made aware of complaints from the adjacent residential properties speaking against the nuisances produced by the storage of seaweed on the subject parcel.

While allowing the rezoning of this parcel to a residential-type use follows the direction this industrial area is taking, it's important to understand that Council and staff will still receive complaints due to the conflicting nature of the uses. These types of complaints likely won't end until this area has finished transitioning. During this transition phase, mitigation of nuisance factors, ensuring pedestrian safety, and separating residential and industrial traffic are ways to minimize conflicts and complaints. Considerations include:

- The location of a sidewalk, to discourage pedestrians from crossing the industrial accesses.
- The traffic flow into and out of the proposed development. In order to reduce the turning conflicts in and out of the development.
- Screening from adjacent parcels. While not included in the proposed CDA zone, considerations may be made to require opaque screening; this will keep future residents from trespassing onto adjacent industrial lots from their rear yard and will block any potential unsightliness from their view.

EXTRACT OF ZONING MAP



5. *Any comments from residents or other interested persons.*

Staff Comment: A public meeting was held on July 21, 2025. The public meeting notice was advertised in the July 5th, edition of the Guardian. Twenty-four (24) letters were mailed to twenty-one (21) property owners, 2 of the properties notified were owned by the applicant. The applicant, Jamie Rogerson (Representing Harcor Holdings inc.) provided an overview of the development (CDA Plan) outlining the intended uses. No one from the public spoke at the public meeting, no written comments were received regarding this development.

6. *Adequacy of existing water, sewer, road, storm water and electrical services, city parking and parklands for accommodating the development, and any projected infrastructure requirements.*

Staff Comment: The City's water supply and sewer treatment systems can handle the loading from this proposed CDA development. This development fronts Pope Road and Mill Crescent, a one-way access from Pope Road (entrance) to exit on to Mill Crescent. The proposed access locations meet the City standards. This access already exists along Pope Road and a new access will need to be installed on the Mill Crescent with a culvert across the existing ditch system at the developers cost. The development will have access to a city sidewalk on the south side of Pope Road. The development will be required to provide a drainage plan showing how the drainage will flow from the site will be directed to the city storm systems on Pope and Mill Crescent. Summerside Electric has identified there is inadequate space to provide overhead powerlines on currently proposed layout plans and given street/building density. Developer must allocate space for underground powerlines and ground mounted

transformers/URD boxes. It is believed this will require elimination or relocation of some structures to make room for electrical equipment. The developer is responsible to submit engineering plans for underground electric servicing to Summerside Electric to review. All costs of UG electrical construction and design is at the developer's cost. Once plans are available, Summerside Electric will offer quotes. The Crescent Drive Park is located within 720m from the subject property. Parkland dedication is calculated upon subdivision of lands, this development will not be further subdivided, thus parkland dedication is not applicable in this application.

7. *Impacts from the development on pedestrian/vehicular access and safety, and on public safety generally.*

Staff Comment: This development will add additional traffic flow to the existing Pope Road and Mill Crescent, but it should be split on to both streets with the access being one way from Pope Road to Mill Crescent. Both streets will be able to accommodate the additional traffic. Pope Road has an approximate VPD of 8-9000, while we do not have traffic count information on Mill Crescent but would expect it to be no greater than 5-600 VPD. Both streets will be able to handle the additional flow. The site is pedestrian accessible via sidewalk on the south side of Pope Road.

8. *Compatibility of the development with environmental, scenic and heritage resources.*

Staff Comment: There are no environmental, scenic, nor heritage resources on this property. If the developer unearths an archeological or paleontological resource, they are required to report it to the relevant Minister per the Archeology Act.

9. *Impacts on City finances and budgets.*

Staff Comment:

10. *Other matters as specified in this Bylaw.*

Staff Comment: Not applicable

11. *Other matters as considered relevant.*

Staff Comment: The Housing Needs Assessment, completed in April of 2021 stated a further 1,025 to 1,250 dwelling units would be needed over the next 15 (now 11) years to meet expected population growth. We are on track to surpass this. However the Housing Needs Assessment was completed prior to Statistics Canada releasing census. Summerside's population growth from 2016-2021 was 7%; the dwelling unit projection in the Housing Needs Assessment was based on a 0.5% annual growth. Summerside will require more than 1,250 dwelling units to meet current and future housing needs, and this proposed development lends itself not only towards the need for dwelling units, but for the need of different types of dwellings. The Director of Economic Development also provides comments regarding the application for Council's consideration, see pages 9 and 10.

There are economic development implications for the City of Summerside. The comments from the Economic Development Department have been attached to this report.

Economic Development Commentary on Employment Land Rezoning Request

Economic Development has been asked to provide input on a request to rezone existing employment lands for residential use. While these lands are somewhat isolated and may no longer represent the highest economic use due to surrounding development, we do not see significant harm in converting these specific parcels. However, any such decisions must be approached with greater strategic consideration.

Position and Context

Economic Development continues to advocate for the preservation of industrial lands as essential to long-term economic sustainability, job creation, and municipal revenue. While residential growth is critical, it cannot come at the continued expense of employment land a trend that seems to go unheard.

The Mayor's Task Force on Housing (2024) confirms that sufficient residential lands already exist to meet future demand, reducing the need for ad hoc rezonings—especially in established industrial zones. Although the report focuses on residential land supply, it reinforces the need for a parallel commitment to employment land planning to maintain economic diversity and future growth capacity.

Rezoning employment lands for housing may yield short-term benefits, but risks include loss of investor confidence, reduced space for future businesses, and incompatibility issues between residential and industrial uses.

Key Considerations

1. **Vision for Employment Lands**
A clear, long-term strategy is needed to guide the use and protection of Summerside's limited employment lands.
2. **Preservation Measures**
Stronger safeguards must be in place to prevent the erosion of industrial zones.
3. **Zoning Consistency**
Rezoning should align with the original economic intent of industrial clusters.
4. **Impact on Industrial Tenants**
Introducing residential uses may create conflicts with current or future industrial operations.
5. **Challenges to Future Expansion**
Non-conforming residential uses can restrict future industrial growth and undermine economic goals.

Recommendation: If rezoning is approved, an equivalent industrial land bank should be established to offset the loss.

Long-Term Recommendations

1. **Employment Land Planning Study**
Launch a comprehensive study to assess future employment land needs and align with shifts in logistics, labor, and real estate demand.

2. **Improved Rezoning Coordination**

Enhance interdepartmental review processes to ensure thorough and timely input on rezoning requests.

3. **Land Inventory**

Develop a complete inventory of residential and employment lands (built and greenfield) to support balanced growth.

4. **Resource Allocation**

Provide Economic Development with resources to replenish employment land stock as needed.

Conclusion

While some flexibility is warranted, continued rezoning of employment lands for residential use risks long-term economic health. A balanced, proactive planning approach is essential to ensure Summerside remains a resilient and diversified economy.

Cluster Residential District – 185 Pope Road

21. All permitted use developments within the Cluster Residential District – 185 Pope Road shall be subject to approval by the Development Officer while discretionary uses shall be referred to Council for a decision.
21. Application for all developments in the Cluster Residential District – 185 Pope Road shall be reviewed in accordance with the guidelines and standards in Section 5 of this Bylaw and *Summerside Official Plan 2018; Building Bylaw CS-31; and Subdivision & Site Development Bylaw SS-19.*

Definitions

21. Dwelling, Cluster Residential means a group of four (4) or more single-detached residential buildings located on a single lot.

Permitted Uses

21. Subject to bylaw requirements, the following uses shall be permitted:

Permitted Uses		
RESIDENTIAL		
accessory building	dwelling, cluster residential	

Conditional Uses

21. Subject to Development Officer approval:

Conditional Uses		
RESIDENTIAL		
home based business		

Development Standards

21. Development of 185 Pope Road shall conform with the following standards, where the front yard abuts Pope Road and the rear yard abuts Mill Crescent:

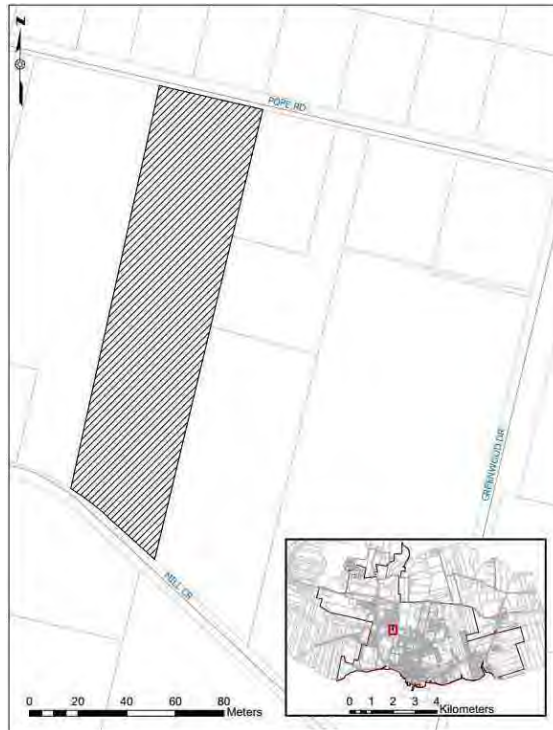
Cluster Residential District		Min. Front yard	Min. Side yards	Min. Rear yard	Max. height	Min. Distance between buildings
single detached dwelling (group)	m	6	2	6	4.6	4
	ft	19.7	6.6	19.7	15	13.12

Servicing Standards

- 21.
- each dwelling shall front onto a paved service road connecting to a street R.O.W.;
 - all service roads shall be a one-way with a minimum of 3.6 m (11.8 ft) for the driving lane;
 - each dwelling shall have service connections to water and sewer laterals serving the lot, but no dwelling shall be sited over such a lateral;
 - a Drainage Plan the considers the development of the entire lot is required as part of the permit application.

General Standards

21. One (1) parking space shall be provided per dwelling unit.
21. All portions of the lot not covered by structures, parking or traffic circulation areas shall be landscaped.
21. Notwithstanding Section 8.9, more than one main building is permitted on a lot within this CDA – Cluster Residential District – 185 Pope Road.



Map 21. Cluster Residential District – 185 Pope Road

STAFF REVIEW: City staff supports the proposed amendments for the proposed Cluster Residential District for an Official Plan and Zoning Bylaw amendment for PID #548610, known as 185 Pope Road (amendments pages 7-8).

As per Section 5.10 (b, iii) of the Zoning Bylaw, the Planning Board shall make a recommendation to Council on this application before it is approved or denied.

The planning board recommendation whether carried or defeated will be brought forward to Council for a final

Map 21. Cluster Residential District – 185 Pope Road proposed Cluster Residential District for an Official Plan and Zoning Bylaw amendment for PID #548610, known as 185 Pope Road (amendments pages 7-8).

As per Section 5.10 (b, iii) of the Zoning Bylaw, the Planning Board shall make a recommendation to Council on this application before it is approved or denied.

The planning board recommendation whether carried or defeated will be brought forward to Council for a final decision.

PLANNING BOARD RECOMMENDATION: The application received from application from Harcor Holdings Inc. for PID #548610 to amend the *City Official Plan and Zoning Bylaw* creating the CDA Plan (Cluster Residential District), and Council designate the development officer to review and approve developments with the CDA Zone (Cluster residential District), be recommended to be approved by Council:

Moved by: Councillor Doiron

Seconded by: Councillor Adams

Questions or Comments:

Councillor Adams commented to what the parking requirements for an application of this type is required. Staff response shared the requirements are explained in the General Standards section. This led staff to explain that the applicant is requesting a private road, not a city road through the development, comparable examples within the city would be privately owned trailer parks or several multiplex developments off of Pope Road.

Councillor MacDougall raised several concerns regarding the application, including issues related to garbage removal, emergency services access, snow removal, extensive parking, and the dense building-to-lot size ratio. In response, Aaron MacDonald clarified that the current application pertains to Official Bylaw Amendments to the CDA zone. He assured that matters such as emergency services access would be addressed in the future design proposal, which will be required to meet applicable standards.

Mayor Kutcher asked if the applicant had considered zoning change for R2 or R3. Staff response was that these zones would not allow for the multiple units on one parcel of land.

Mayor Kutcher expressed concerns about the proposal's potential to divide an industrial area with residential development in the middle. He noted that, in his view, the proposal does not seem to align with the innovative potential that the CDA zoning is intended to support.

Motion:

Carried	x	For	4
Defeated		Against	0

Resolution will go to Committee of the Whole meeting on September 2 for decision.

Adjournment

Motion It was moved and seconded;
That The meeting be adjourned.

Motion Carried

Councillor Justin Doiron
Chair, Planning Board

Sandra Zarvie
Executive Assistant

Action item	Assigned to	Due Date	Notes
232 Simmons Avenue	Council	September 2, 2025 Special Council	To come forward for resolution
185 Pope Road	Council	September 2, 2025 Special Council	To come forward for resolution

Committee of the Whole Agenda

September 2, 2025

Planning Board

- 1) Call to Order at 5 PM
- 2) Approval of the Agenda
- 3) Land acknowledgement
- 4) Conflict of Interest declaration
- 5) Recommendation – 149 Harvard Street – Major Variance
- 6) Recommendation – East West Connector Road – Street Naming
- 7) Adjournment

Committee of the Whole

- 1) Call to Order
- 2) Approval of the Agenda
- 3) Conflict of Interest declaration
- 4) Committee Reports and Recommendations
 - a) Finance Committee (Councillor MacDougall)
 - b) Bylaw and Governance Committee (Councillor McColeman)
 - c) Planning Committee (Councillor Doiron)
 - d) Action Plan for Safer Communities (Councillor Adams)
 - e) Parks and Greenspace Plan (Councillor Trenholm)
 - f) Youth Advisory Committee (Councillor Cameron)
 - g) Downtown Transformation (Deputy Mayor Snow)
 - h) Electric Utility Governance Review (Councillor Morrison)
 - i) Smart City initiatives – Service Delivery and AI (Councillor Cameron)
 - j) SEED- Senior Engagement, Equity Directive (Councillor Trenholm)
- 5) Staff Reports and Recommendations
 - a) HAF Update Presentation – City Planner Megan Williams
- 6) Committee of the Whole discussion items
 - a) Active Transit update – Councillor Trenholm
- 7) Adjournment

Special Council

- 1) Call to Order
- 2) Approval of the Agenda
- 3) Conflict of Interest declaration
- 4) Discretionary use
- 5) Resolution COS 25 -087 185 Pope Road OPA formal adoption
- 6) Resolution COS 25 -088 185 Pope Road Zoning Bylaw Amendment second reading
- 7) Resolution COS 25 -089 185 Pope Road Zoning Bylaw Amendment formal adoption
- 8) Resolution COS 25 -090 232 Simmons Ave OPA formal adoption
- 9) Resolution COS 25 -091 232 Simmons Ave Zoning Bylaw Amendment second reading
- 10) Resolution COS 25 -092 232 Simmons Ave Zoning Bylaw Amendment formal adoption
- 11) Resolution COS 25 -093 149 Harvard Street – Major Variance
- 12) In-Camera (closed door)
 - a) Municipal Government Act Section 119 (a) 733 Water Street
 - b) Municipal Government Act Section 119 (e) Financial update
 - c) Municipal Government Act Section 119 (f) IRAC Appeal
- 13) Adjournment

September 2, 2025

Moved by Councillor _____

Seconded by Councillor _____

Resolution:

Carried	
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For	
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Defeated	
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Against	
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WHEREAS an application was received from Harcor Holdings Inc. to amend the Official Plan (Schedule B - future land use map), for PID # 548610 from Industrial land use to Comprehensive Development Area land use under the *City of Summerside Official Plan*;

AND WHEREAS in accordance with section 5.7 of the zoning bylaw, Council shall consider the following general criteria, as applicable:

- Conformity with all requirements of this Bylaw;
- Conformity with the Official Plan;
- Suitability of the site for the proposed development;
- Compatibility of the proposed development with surrounding land uses, including both existing and projected uses;
- Any comments from residents or other interested persons;
- Adequacy of existing water, sewer, road, storm water and electrical services, city parking, and parklands for accommodating the development, and any projected infrastructure requirements;
- Impacts from the development on pedestrian/vehicular access and safety, and on public safety generally;
- Compatibility of the development with environmental, scenic and heritage resources;
- Impacts on City finances and budgets;
- Other matters as specified in this Bylaw;
- Other matters as considered relevant.

Be It Resolved That official plan amendment 0111, to amend the *City of Summerside Official Plan* be hereby formally adopted.

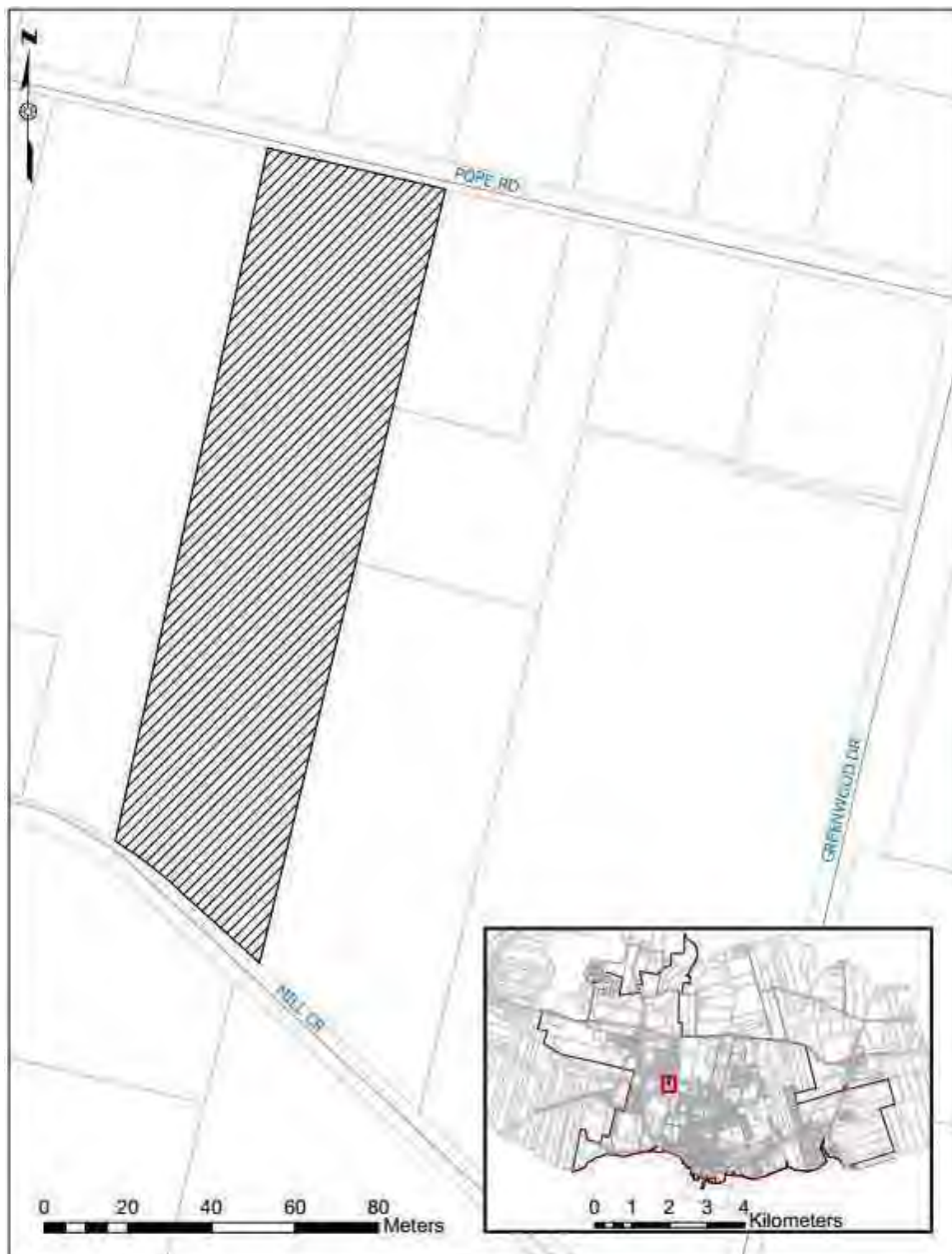
[schedule B is attached]

This bears the recommendation of the Planning Board meeting held on August 5, 2025.

**OFFICIAL PLAN AMENDMENT 0111
TO AMEND THE CITY OF SUMMERSIDE OFFICIAL PLAN**

The Council of the City of Summerside under authority vested in it by Section 18 of the *Planning Act R.S.P.E.I. 1988 Cap. P-8* hereby enacts as follows:

- I. The land use for PID # 548610 as shown on Schedule B of the *Future Land Use Map*, is designated as Comprehensive Development Area land use, hereby excluding it from its former designation of Industrial land use under the *City of Summerside Official Plan*;



Resolution
COS 25-088

September 2, 2025

Moved by Councillor _____

Seconded by Councillor _____

Resolution:

Carried	
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For	
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Defeated	
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Against	
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WHEREAS an application was received from Harcor Holdings Inc. for a zoning amendment for PID # 548610 from Light Industrial (M1) zone to Comprehensive Development Area (CDA) zone under the *City of Summerside Zoning Bylaw*;

AND WHEREAS zoning bylaw amendment 0112, a bylaw to amend the *City of Summerside Zoning Bylaw* was read and declared as read a first time at the Council meeting held on July 21, 2025;

AND WHEREAS in accordance with section 5.7 of the zoning bylaw, Council shall consider the following general criteria, as applicable:

- Conformity with all requirements of this Bylaw;
- Conformity with the Official Plan;
- Suitability of the site for the proposed development;
- Compatibility of the proposed development with surrounding land uses, including both existing and projected uses;
- Any comments from residents or other interested persons;
- Adequacy of existing water, sewer, road, storm water and electrical services, city parking, and parklands for accommodating the development, and any projected infrastructure requirements;
- Impacts from the development on pedestrian/vehicular access and safety, and on public safety generally;
- Compatibility of the development with environmental, scenic and heritage resources;
- Impacts on City finances and budgets;
- Other matters as specified in this Bylaw;
- Other matters as considered relevant.

BE IT RESOLVED THAT zoning amendment 0112, a bylaw to amend the *City of Summerside Zoning Bylaw* be hereby declared as read a second time.

This bears the recommendation of the Planning Board meeting held on August 5, 2025.
[schedule A is attached]

Schedule A
ZONING AMENDMENT 0112
A BYLAW TO AMEND THE CITY OF SUMMERSIDE ZONING BYLAW

The Council of the City of Summerside under authority vested in it by Section 18 and Section 19 of the *Planning Act R.S.P.E.I. 1988 Cap. P-8* hereby enacts as follows:

Cluster Residential District – 185 Pope Road

21. All permitted use developments within the Cluster Residential District – 185 Pope Road shall be subject to approval by the Development Officer while discretionary uses shall be referred to Council for a decision.
21. Application for all developments in the Cluster Residential District – 185 Pope Road shall be reviewed in accordance with the guidelines and standards in Section 5 of this Bylaw and *Summerside Official Plan 2018; Building Bylaw CS-31; and Subdivision & Site Development Bylaw SS-19*.

Definitions

21. Dwelling, Cluster Residential means a group of four (4) or more single-detached residential buildings located on a single lot.

Permitted Uses

21. Subject to bylaw requirements, the following uses shall be permitted:

Permitted Uses		
RESIDENTIAL		
accessory building	dwelling, cluster residential	

Conditional Uses

21. Subject to Development Officer approval:

Conditional Uses		
RESIDENTIAL		
home based business		

Development Standards

21. Development of 185 Pope Road shall conform with the following standards, where the front yard abuts Pope Road and the rear yard abuts Mill Crescent:

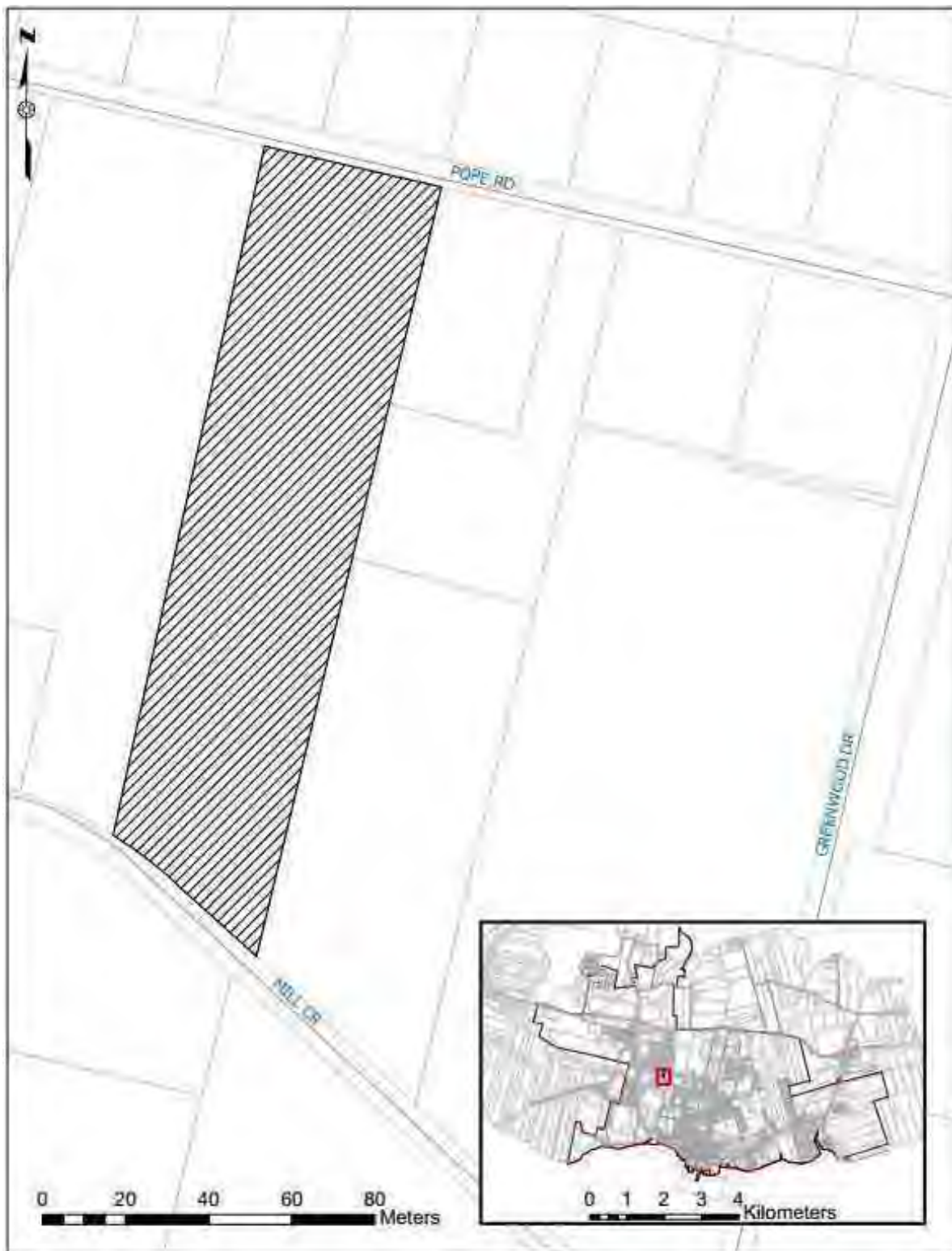
Cluster Residential District		Min. Front yard	Min. Side yards	Min. Rear yard	Max. height	Min. Distance between buildings
single detached dwelling (group)	m	6	2	6	4.6	4
	ft	19.7	6.6	19.7	15	13.12

Servicing Standards

- 21.
- a) each dwelling shall front onto a paved service road connecting to a street R.O.W.;
 - b) all service roads shall be a one-way with a minimum of 3.6 m (11.8 ft) for the driving lane;
 - c) each dwelling shall have service connections to water and sewer laterals serving the lot, but no dwelling shall be sited over such a lateral;
 - d) a Drainage Plan the considers the development of the entire lot is required as part of the permit application.

General Standards

21. One (1) parking space shall be provided per dwelling unit.
21. All portions of the lot not covered by structures, parking or traffic circulation areas shall be landscaped.
21. Notwithstanding Section 8.9, more than one main building is permitted on a lot within this CDA – Cluster Residential District – 185 Pope Road.



Map 21. Cluster Residential District – 185 Pope Road

Resolution
COS 25-089

September 2, 2025

Moved by Councillor _____

Seconded by Councillor _____

Resolution:

Carried	
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For	
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Defeated	
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Against	
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WHEREAS an application was received from Harcor Holdings Inc. for a zoning amendment for PID #548610 from Industrial zone to Comprehensive Development Area (CDA) zone under the *City of Summerside Zoning Bylaw*;

AND WHEREAS zoning bylaw amendment 0112, a bylaw to amend the *City of Summerside Zoning Bylaw*, was read and declared as read at two separate meetings of Council held on different days;

BE IT RESOLVED THAT zoning bylaw amendment 0112, a bylaw to amend the *City of Summerside Zoning Bylaw* be hereby formally adopted.

Special Council Meeting Minutes

September 2, 2025

Present

Deputy Mayor Cory Snow
Councillor Bruce MacDougall
Councillor Justin Doiron
Councillor Nick Cameron
Councillor Norma McColeman
Councillor Ken Trenholm
Councillor Rick Morrison
Councillor Carrie Adams
Kristen Dunsford, Director of Financial Services
JP Desrosiers, Chief Administrative Officer (Acting)
Sandra Zarvie, Executive Assistant
Members of the Public

Call to Order / Approval of Agenda / Land Acknowledgement / Conflict of Interest Declaration

The meeting was called to order by Deputy Mayor Snow.

Motion It was moved and seconded;
That The Agenda be approved as amended.
Motion Carried

Conflict of Interest Declaration – There were no conflicts declared by any Council member with any item on the agenda

5) 185 Pope Road OPA Formal Adoption

Resolution COS 25-087

It was moved and seconded

WHEREAS an application was received from Harcor Holdings Inc. to amend the Official Plan (Schedule B - future land use map), for PID # 548610 from Industrial land use to Comprehensive Development Area land use under the *City of Summerside Official Plan*;

AND WHEREAS in accordance with section 5.7 of the zoning bylaw, Council shall consider the following general criteria, as applicable:

- Conformity with all requirements of this Bylaw;
- Conformity with the Official Plan;

- Suitability of the site for the proposed development;
- Compatibility of the proposed development with surrounding land uses, including both existing and projected uses;
- Any comments from residents or other interested persons;
- Adequacy of existing water, sewer, road, storm water and electrical services, city parking, and parklands for accommodating the development, and any projected infrastructure requirements;
- Impacts from the development on pedestrian/vehicular access and safety, and on public safety generally;
- Compatibility of the development with environmental, scenic and heritage resources;
- Impacts on City finances and budgets;
- Other matters as specified in this Bylaw;
- Other matters as considered relevant.

Be It Resolved That official plan amendment 0111, to amend the *City of Summerside Official Plan* be hereby formally adopted.

This bears the recommendation of the Planning Board meeting held on August 5, 2025.

Questions and Comments:

Councillor MacDougall commented that he had not gotten clarification of his concern of garbage removal. CAO Desrosiers responded that by his understanding that it is not at this stage of the process that this question is answered, it would be at the conceptual stage.

Councillor MacDougall requested that Council vote to allow resident Mr. Ray Howatt, 174 Pope Road, the opportunity to speak regarding his concerns with the ongoing development. Mr. Howatt had been present at the public meeting on August 5th, but had to leave due to a health emergency. With no objections from Council, Mr. Howatt was granted permission to speak.

Mr. Howatt, expressed he was speaking on behalf of several residents in the area, that were in attendance. He gave a number of concerns; density of the proposed development, parking, garbage removal, snow removal, concerns of the type of development rental vs ownership. Will property values change due to the density. And lastly concerns of traffic.

Resolution defeated 1-6

Councillors Adams, McColeman, MacDougall, Doiron, Cameron and Treholm voted against the motion.

Resolution COS 25-088

Was not read due to resolution COS 25-087 defeated.

Resolution COS 25-089

Was not read due to resolution COS 25-087 defeated.

8) 232 Simmons Ave OPA formal adoption

Resolution COS 25-090

It was moved and seconded

WHEREAS an application was received from PCHF Investments Inc. to amend the Official Plan (Schedule B - future land use map), for PID # 1169465 and PID # 71340 from Agricultural land use to Comprehensive Development Area land use under the City of Summerside Official Plan;

AND WHEREAS in accordance with section 5.7 of the zoning bylaw, Council shall consider the following general criteria, as applicable:

- Conformity with all requirements of this Bylaw;
- Conformity with the Official Plan;
- Suitability of the site for the proposed development;
- Compatibility of the proposed development with surrounding land uses, including both existing and projected uses;
- Any comments from residents or other interested persons;
- Adequacy of existing water, sewer, road, storm water and electrical services, city parking, and parklands for accommodating the development, and any projected infrastructure requirements;
- Impacts from the development on pedestrian/vehicular access and safety, and on public safety generally;
- Compatibility of the development with environmental, scenic and heritage resources;
- Impacts on City finances and budgets;
- Other matters as specified in this Bylaw;
- Other matters as considered relevant.

Be It Resolved That official plan amendment 0199, to amend the City of Summerside Official Plan be hereby formally adopted.

[schedule A is attached]

Schedule A
ZONING AMENDMENT 0200
A BYLAW TO AMEND THE CITY OF SUMMERSIDE ZONING BYLAW

The Council of the City of Summerside under authority vested in it by Section 18 and Section 19 of the *Planning Act R.S.P.E.I. 1988 Cap. P-8* hereby enacts as follows:

Health and Learning District – 232 Simmons Ave

21. All permitted use developments within the Health and Learning District – 232 Simmons Ave shall be subject to approval by the Development Officer while discretionary uses shall be referred to Council for a decision.
21. Application for all developments in the Health and Learning District – 232 Simmons Ave shall be reviewed in accordance with the guidelines and standards in Section 5 of this Bylaw and *Summerside Official Plan 2018; Building Bylaw CS-31; and Subdivision & Site Development Bylaw SS-19* and any amendments thereto.

21. The area shall be divided into two Health and Learning Districts identified on Map 21-** as District #1 and District #2. The location, size and shape of the districts in Map 21-** are approximate. Minor adjustments to account for technical matters may be considered to the satisfaction of the Development Officer.

Permitted Uses

21. Subject to bylaw requirements, the following uses shall be permitted in Health and Learning District #1:

Permitted Uses		
COMMERCIAL		
accessory building	child care centre	commercial/residential

Permitted Uses		
INSTITUTIONAL		
accessory building	medical office	school, post-secondary
school premises		

21. Subject to bylaw requirements, the following uses shall be permitted in Health and Learning District #2:

Permitted Uses		
RESIDENTIAL		
accessory building	accessory dwelling unit (subject to section 8.24)	apartment building
boarding house	duplex dwelling	nursing care facility: community care and nursing home
rooming house	row house	semi-detached dwelling
town house		

Conditional Uses

21. Subject to Development Officer approval, the following uses shall be conditional in District #2:

Conditional Uses		
home based business	tourism establishment: vacation rental property	

Development Standards

21. Development of 232 Simmons Ave District #1, the following standards shall apply

District 1 Standards		Lot area	Lot depth	Lot width	Front yard	Side Yards	Rear yard	Flankage Yard
	m	690	0	23	6	3	6	5
	ft	7,427.2	0	75.4	19.7	9.8	19.7	16.4
Maximum Building Height		Maximum building height shall be 6 storeys except where otherwise approved by Council.						

21. Development of 232 Simmons Ave District #2, the R3 District standards shall apply, with the exception of the Apartment Building, where the R4 standards apply.

a. For factory constructed buildings, see additional standards in Section 8.10

General Standards

21. a. Parking for District #1 shall be calculated as follows:

- i Child Care Centre: 1 space/employee + 1 drop off space per classroom.
- ii Residential uses: 1 space/dwelling unit
- iii Medical Office: 1 space/employee + 2 spaces/treatment room

b. Parking for District #2 shall be calculated per Section 10.5.

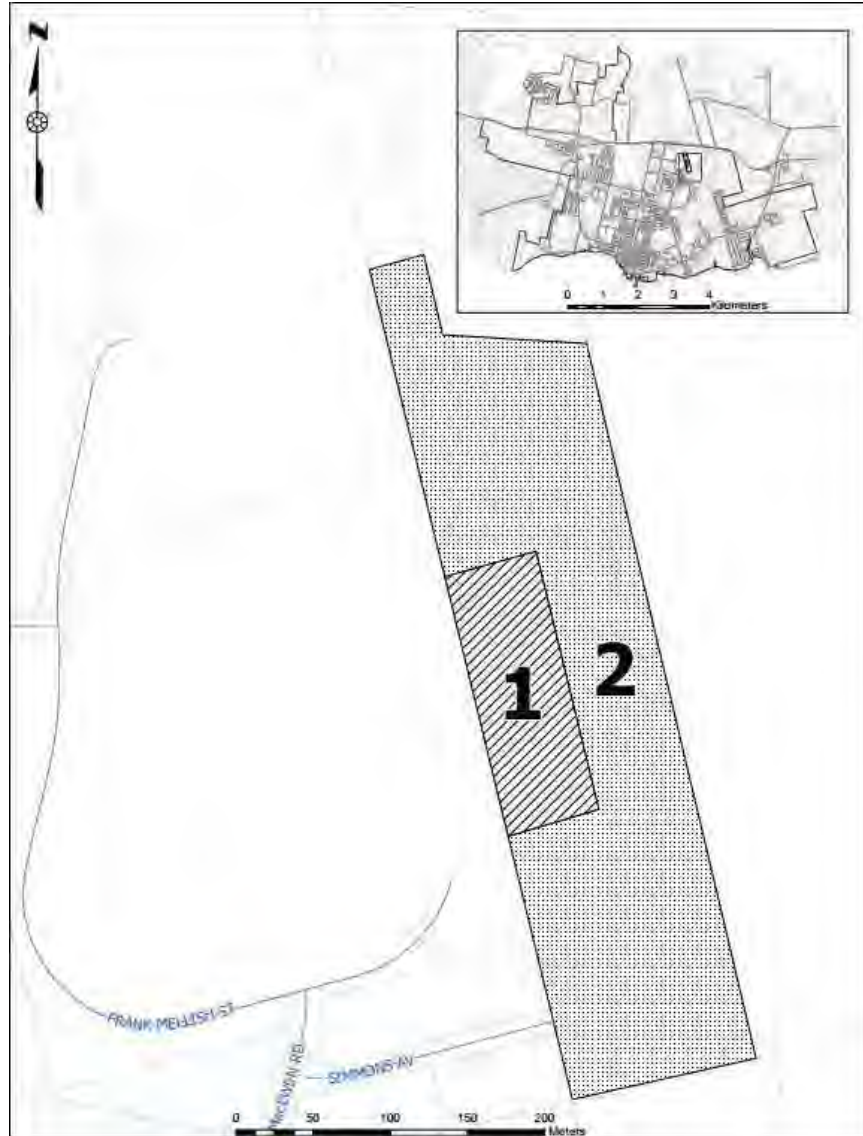
21. Notwithstanding 21. (above) parking for District #1 may be accommodated on a separate parcel where
- a. the parcels are directly adjacent to each other, and
 - b. a form of pedestrian walkway connects the two parcels.

This does not apply to accessible parking spots. Accessible parking spots for uses within District #1 must be accommodated on the subject parcel.

21. All portions of the lot not covered by structures, parking, or traffic circulation areas shall be landscaped.

Landscaping may include but is not limited to grass, plants, shrubs, sod, and trees.

21. Notwithstanding Section 8.9, more than one main building is permitted on a lot within this CDA – Health and Learning District - 232 Simmons Ave.



Map 21. Health and Learning District – 232 Simmons Avenue

Resolution carried 7-0

8) 232 Simmons Ave Zoning Bylaw Amendment second reading

Resolution COS 25-091

It was moved and seconded

WHEREAS an application was received from PCHF Investments Inc. for a zoning amendment for a portion PID # 1169465 and PID # 71340 from Agricultural (A) zone to Comprehensive Development Area (CDA) zone under the *City of Summerside Zoning Bylaw*;

AND WHEREAS zoning bylaw amendment 0200, a bylaw to amend the *City of Summerside Zoning Bylaw* was read and declared as read a first time at the Council meeting held on July 21, 2025;

AND WHEREAS in accordance with section 5.7 of the zoning bylaw, Council shall consider the following general criteria, as applicable:

- Conformity with all requirements of this Bylaw;
- Conformity with the Official Plan;
- Suitability of the site for the proposed development;
- Compatibility of the proposed development with surrounding land uses, including both existing and projected uses;
- Any comments from residents or other interested persons;
- Adequacy of existing water, sewer, road, storm water and electrical services, city parking, and parklands for accommodating the development, and any projected infrastructure requirements;
- Impacts from the development on pedestrian/vehicular access and safety, and on public safety generally;
- Compatibility of the development with environmental, scenic and heritage resources;
- Impacts on City finances and budgets;
- Other matters as specified in this Bylaw;
- Other matters as considered relevant.

BE IT RESOLVED THAT zoning amendment 0200, a bylaw to amend the *City of Summerside Zoning Bylaw* be hereby declared as read a second time.

This bears the recommendation of the Planning Board meeting held on August 5, 2025.
[schedule A is attached]

Schedule A
ZONING AMENDMENT 0200
A BYLAW TO AMEND THE CITY OF SUMMERSIDE ZONING BYLAW

The Council of the City of Summerside under authority vested in it by Section 18 and Section 19 of the *Planning Act R.S.P.E.I. 1988 Cap. P-8* hereby enacts as follows:

Health and Learning District – 232 Simmons Ave

21. All permitted use developments within the Health and Learning District – 232 Simmons Ave shall be subject to approval by the Development Officer while discretionary uses shall be referred to Council for a decision.
21. Application for all developments in the Health and Learning District – 232 Simmons Ave shall be reviewed in accordance with the guidelines and standards in Section 5 of this Bylaw and *Summerside Official Plan 2018; Building Bylaw CS-31; and Subdivision & Site Development Bylaw SS-19* and any amendments thereto.

21. The area shall be divided into two Health and Learning Districts identified on Map 21-** as District #1 and District #2. The location, size and shape of the districts in Map 21-** are approximate. Minor adjustments to account for technical matters may be considered to the satisfaction of the Development Officer.

Permitted Uses

21. Subject to bylaw requirements, the following uses shall be permitted in Health and Learning District #1:

Permitted Uses		
COMMERCIAL		
accessory building	child care centre	commercial/residential

Permitted Uses		
INSTITUTIONAL		
accessory building	medical office	school, post-secondary
school premises		

21. Subject to bylaw requirements, the following uses shall be permitted in Health and Learning District #2:

Permitted Uses		
RESIDENTIAL		
accessory building	accessory dwelling unit (subject to section 8.24)	apartment building
boarding house	duplex dwelling	nursing care facility: community care and nursing home
rooming house	row house	semi-detached dwelling
town house		

Conditional Uses

21. Subject to Development Officer approval, the following uses shall be conditional in District #2:

Conditional Uses		
home based business	tourism establishment: vacation rental property	

Development Standards

21. Development of 232 Simmons Ave District #1, the following standards shall apply

District 1 Standards		Lot area	Lot depth	Lot width	Front yard	Side Yards	Rear yard	Flankage Yard
	m	690	0	23	6	3	6	5
	ft	7,427.2	0	75.4	19.7	9.8	19.7	16.4
Maximum Building Height		Maximum building height shall be 6 storeys except where otherwise approved by Council.						

21. Development of 232 Simmons Ave District #2, the R3 District standards shall apply, with the exception of the Apartment Building, where the R4 standards apply.

a. For factory constructed buildings, see additional standards in Section 8.10

General Standards

21. a. Parking for District #1 shall be calculated as follows:

- i Child Care Centre: 1 space/employee + 1 drop off space per classroom.
- ii Residential uses: 1 space/dwelling unit
- iii Medical Office: 1 space/employee + 2 spaces/treatment room

b. Parking for District #2 shall be calculated per Section 10.5.

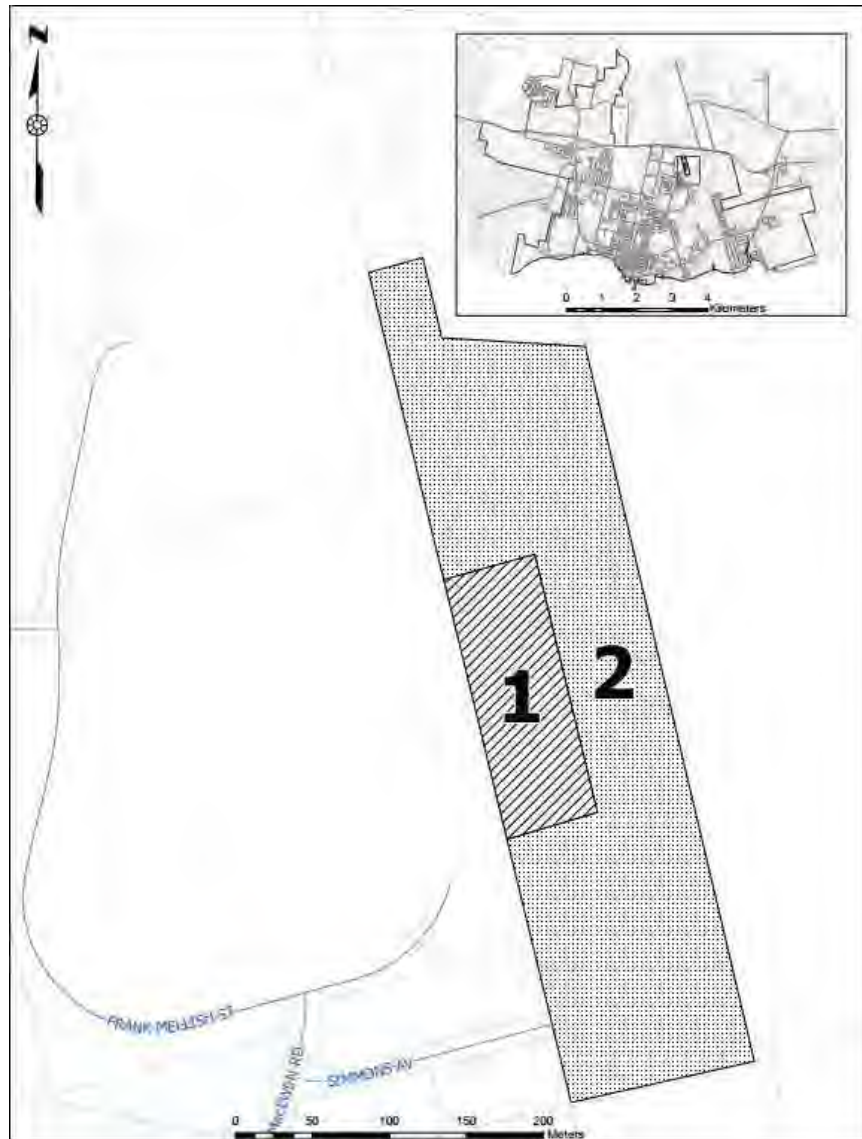
21. Notwithstanding 21. (above) parking for District #1 may be accommodated on a separate parcel where
- a. the parcels are directly adjacent to each other, and
 - b. a form of pedestrian walkway connects the two parcels.

This does not apply to accessible parking spots. Accessible parking spots for uses within District #1 must be accommodated on the subject parcel.

21. All portions of the lot not covered by structures, parking, or traffic circulation areas shall be landscaped.

Landscaping may include but is not limited to grass, plants, shrubs, sod, and trees.

21. Notwithstanding Section 8.9, more than one main building is permitted on a lot within this CDA – Health and Learning District - 232 Simmons Ave.



Map 21. Health and Learning District – 232 Simmons Avenue

Resolution carried 7-0.

Resolution COS 25-092

It was moved and seconded

WHEREAS an application was received from PCHF Investments Inc. for a zoning amendment for PID #1169465 and PID # 71340 from Agricultural (A) zone to Comprehensive Development Area (CDA) zone under the *City of Summerside Zoning Bylaw*;

AND WHEREAS zoning bylaw amendment 0200, a bylaw to amend the *City of Summerside Zoning Bylaw*, was read and declared as read at two separate meetings of Council held on different days;

BE IT RESOLVED THAT zoning bylaw amendment 0200, a bylaw to amend the *City of Summerside Zoning Bylaw* be hereby formally adopted.

Resolution carried 7-0

Resolution COS 25-093

It was moved and seconded

Whereas an application was received from Jordan Buchanan to subdivide 149 Harvard Street (PID #316505) into two lots, creating Lot 25-1 and 25-2.

And Whereas Section 17.5 of the City of Summerside Zoning Bylaw states a lot depth of 30m (98.4 ft) is required for a single detached dwelling, in the R3 zone.

And Whereas the applicant is requesting a variance of 12% to the lot depth for Lot 25-2.

And Whereas Section 7.2 of the zoning bylaw allows for a variance to be granted after Council has considered the following tests:

- a. That the hardship is due to unique physical conditions of the lot or property, including small lot size, irregular lot shape, existing building location on the property, or exceptional topographical conditions, which make it impractical to develop in strict conformity with Bylaw standards. Exceptional topographical conditions may include, but are not limited to: trees, slope of the land, etc.
- b. That the proposed variance meets the general intent of the official plan.
- c. That the proposed variance meets the general intent of the zone.
- d. That the proposed variance would not impact negatively on adjacent properties, or on the essential character of the surrounding neighborhood, including taking into consideration any comments from neighbors.

Be It Resolved that Council grant a lot depth variance of 12% for proposed Lot 25-2.

This application bears the recommendation of the Planning Board Meeting of September 2, 2025.

Resolution carried 7-0.

12) In-Camera (closed door)

a) Municipal Government Act Section 119 (a) 733 Water Street
CAO Desrosiers provided an update to council on the RFP status for this property.

b) Municipal Government Act Section 119 (e) Financial Update
CAO Desrosiers and Director of Finance Kristen MacDonald discussed the surplus in reserve. Resolution from the discussion will be presented to Council at the September 15th Monthly Council meeting.

c) Municipal Government Act Section 119 (f) IRAC Appeal
CAO Desrosiers and Director of Human Resources and Legal briefed council on an upcoming IRAC hearing that will be before the commission on September 9, 2025.

Adjournment

Motion It was moved and seconded;
That The meeting be adjourned.
Motion Carried

Cory Snow
Deputy Mayor

Sandra Zarvie
Executive Assistant

September 2, 2025

Moved by Councillor Councillor Adams

Seconded by Councillor Councillor Trenholm

Resolution:

Carried	
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For	1
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Defeated	x
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Against	6
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Councillors Adams, McColeman, MacDougall, Doiron, Cameron, Trenholm

WHEREAS an application was received from Harcor Holdings Inc. to amend the Official Plan (Schedule B - future land use map), for PID # 548610 from Industrial land use to Comprehensive Development Area land use under the *City of Summerside Official Plan*;

AND WHEREAS in accordance with section 5.7 of the zoning bylaw, Council shall consider the following general criteria, as applicable:

- Conformity with all requirements of this Bylaw;
- Conformity with the Official Plan;
- Suitability of the site for the proposed development;
- Compatibility of the proposed development with surrounding land uses, including both existing and projected uses;
- Any comments from residents or other interested persons;
- Adequacy of existing water, sewer, road, storm water and electrical services, city parking, and parklands for accommodating the development, and any projected infrastructure requirements;
- Impacts from the development on pedestrian/vehicular access and safety, and on public safety generally;
- Compatibility of the development with environmental, scenic and heritage resources;
- Impacts on City finances and budgets;
- Other matters as specified in this Bylaw;
- Other matters as considered relevant.

Be It Resolved That official plan amendment 0111, to amend the *City of Summerside Official Plan* be hereby formally adopted.

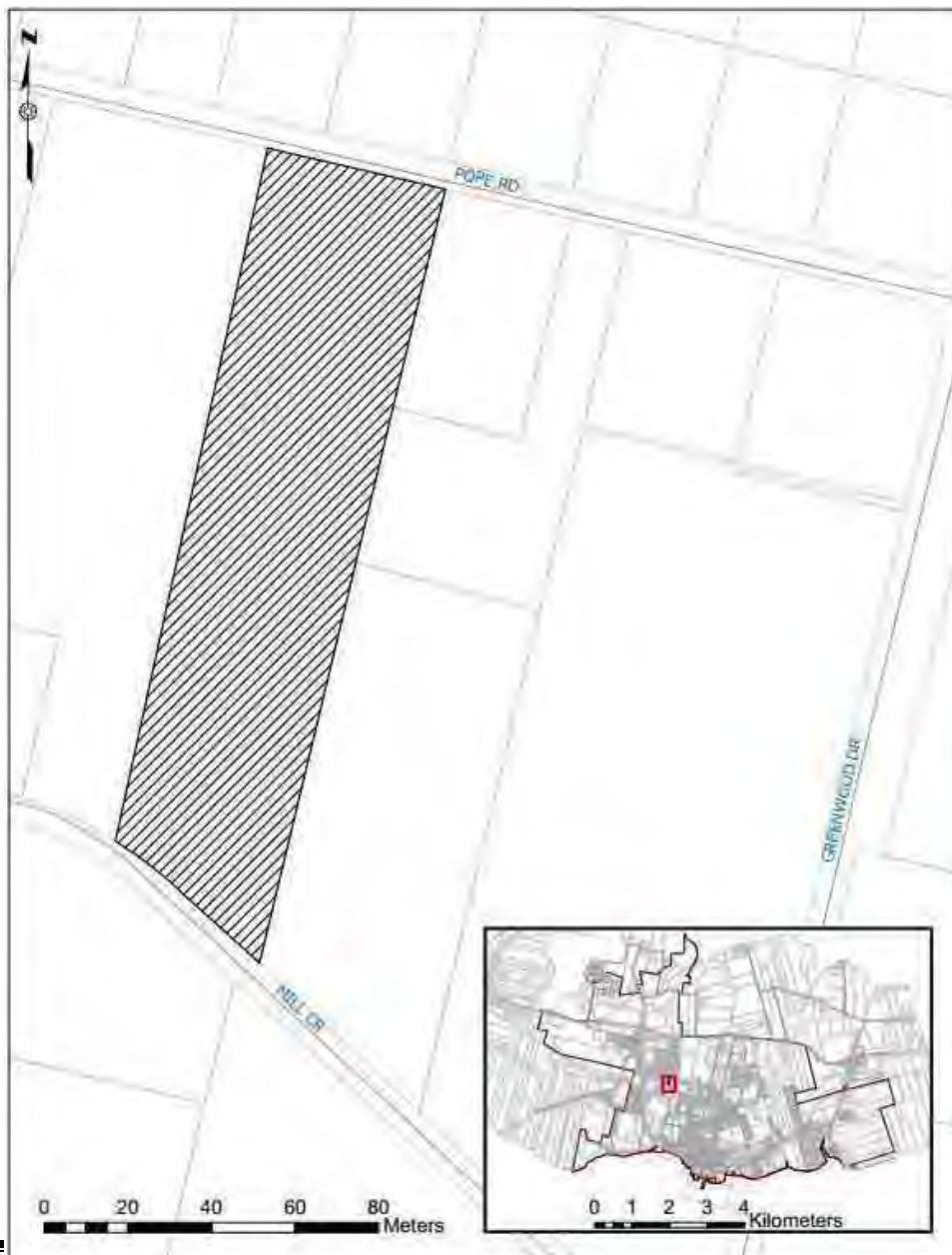
[schedule B is attached]

This bears the recommendation of the Planning Board meeting held on August 5, 2025.

**OFFICIAL PLAN AMENDMENT 0111
TO AMEND THE CITY OF SUMMERSIDE OFFICIAL PLAN**

The Council of the City of Summerside under authority vested in it by Section 18 of the *Planning Act R.S.P.E.I. 1988 Cap. P-8* hereby enacts as follows:

- I. The land use for PID # 548610 as shown on Schedule B of the *Future Land Use Map*, is designated as Comprehensive Development Area land use, hereby excluding it from its former designation of Industrial land use under the *City of Summerside Official Plan*;





*Resolution
COS 25-088*

September 2, 2025

Moved by Councillor _____ Not Read, COS 25-087 was defeated prior to this _____

Seconded by Councillor _____

Resolution:

Carried		For	
Defeated		Against	

WHEREAS an application was received from Harcor Holdings Inc. for a zoning amendment for PID # 548610 from Light Industrial (M1) zone to Comprehensive Development Area (CDA) zone under the *City of Summerside Zoning Bylaw*;

AND WHEREAS zoning bylaw amendment 0112, a bylaw to amend the *City of Summerside Zoning Bylaw* was read and declared as read a first time at the Council meeting held on July 21, 2025;

AND WHEREAS in accordance with section 5.7 of the zoning bylaw, Council shall consider the following general criteria, as applicable:

- Conformity with all requirements of this Bylaw;
- Conformity with the Official Plan;
- Suitability of the site for the proposed development;
- Compatibility of the proposed development with surrounding land uses, including both existing and projected uses;
- Any comments from residents or other interested persons;
- Adequacy of existing water, sewer, road, storm water and electrical services, city parking, and parklands for accommodating the development, and any projected infrastructure requirements;
- Impacts from the development on pedestrian/vehicular access and safety, and on public safety generally;
- Compatibility of the development with environmental, scenic and heritage resources;
- Impacts on City finances and budgets;
- Other matters as specified in this Bylaw;
- Other matters as considered relevant.

BE IT RESOLVED THAT zoning amendment 0112, a bylaw to amend the *City of Summerside Zoning Bylaw* be hereby declared as read a second time.

This bears the recommendation of the Planning Board meeting held on August 5, 2025.
[schedule A is attached]

Schedule A
ZONING AMENDMENT 0112
A BYLAW TO AMEND THE CITY OF SUMMERSIDE ZONING BYLAW

The Council of the City of Summerside under authority vested in it by Section 18 and Section 19 of the *Planning Act R.S.P.E.I. 1988 Cap. P-8* hereby enacts as follows:

Cluster Residential District – 185 Pope Road

21. All permitted use developments within the Cluster Residential District – 185 Pope Road shall be subject to approval by the Development Officer while discretionary uses shall be referred to Council for a decision.
21. Application for all developments in the Cluster Residential District – 185 Pope Road shall be reviewed in accordance with the guidelines and standards in Section 5 of this Bylaw and *Summerside Official Plan 2018*; *Building Bylaw CS-31*; and *Subdivision & Site Development Bylaw SS-19*.

Definitions

21. Dwelling, Cluster Residential means a group of four (4) or more single-detached residential buildings located on a single lot.

Permitted Uses

21. Subject to bylaw requirements, the following uses shall be permitted:

Permitted Uses		
RESIDENTIAL		
accessory building	dwelling, cluster residential	

Conditional Uses

21. Subject to Development Officer approval:

Conditional Uses		
RESIDENTIAL		
home based business		

Commented [MW1]: As above, did we want to add these as schedules to avoid them reading them out?

Development Standards

21. Development of 185 Pope Road shall conform with the following standards, where the front yard abuts Pope Road and the rear yard abuts Mill Crescent:

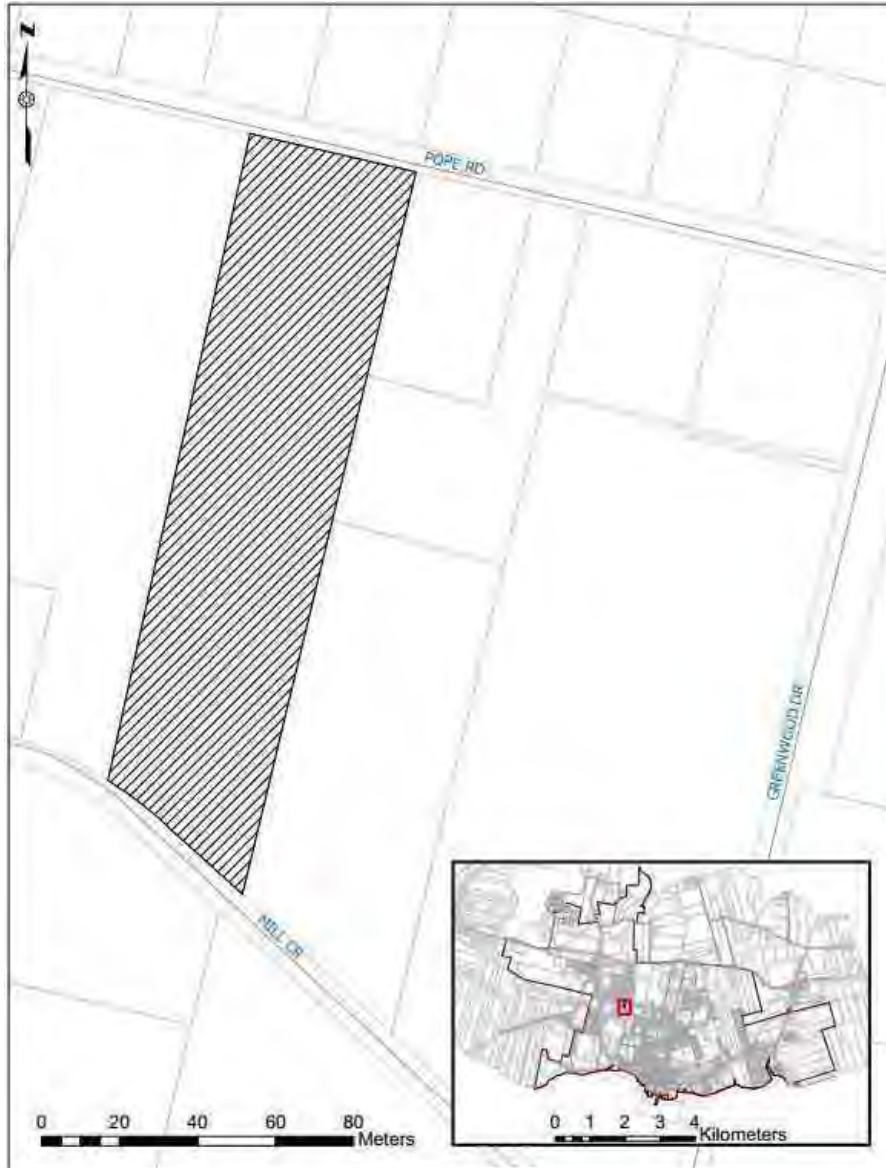
Cluster Residential District		Min. Front yard	Min. Side yards	Min. Rear yard	Max. height	Min. Distance between buildings
single detached dwelling (group)	m	6	2	6	4.6	4
	ft	19.7	6.6	19.7	15	13.12

Servicing Standards

- 21.
- a) each dwelling shall front onto a paved service road connecting to a street R.O.W.;
 - b) all service roads shall be a one-way with a minimum of 3.6 m (11.8 ft) for the driving lane;
 - c) each dwelling shall have service connections to water and sewer laterals serving the lot, but no dwelling shall be sited over such a lateral;
 - d) a Drainage Plan the considers the development of the entire lot is required as part of the permit application.

General Standards

21. One (1) parking space shall be provided per dwelling unit.
21. All portions of the lot not covered by structures, parking or traffic circulation areas shall be landscaped.
21. Notwithstanding Section 8.9, more than one main building is permitted on a lot within this CDA – Cluster Residential District – 185 Pope Road.



Map 21. Cluster Residential District – 185 Pope Road

Resolution
COS 25-089

September 2, 2025

Moved by Councillor Not Read, COS 25-087 was defeated prior to this which made this not needed

Seconded by Councillor _____

Resolution:

Carried	
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For	
-----	--

Defeated	
----------	--

Against	
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WHEREAS an application was received from Harcor Holdings Inc. for a zoning amendment for PID #548610 from Industrial zone to Comprehensive Development Area (CDA) zone under the *City of Summerside Zoning Bylaw*;

AND WHEREAS zoning bylaw amendment 0112, a bylaw to amend the *City of Summerside Zoning Bylaw*, was read and declared as read at two separate meetings of Council held on different days;

BE IT RESOLVED THAT zoning bylaw amendment 0112, a bylaw to amend the *City of Summerside Zoning Bylaw* be hereby formally adopted.

From: [Cindy Bedwell](#)

Sent: April 8, 2024 2:58:37 PM

To: [Tony Gallant](#); [Gary McInnis](#); [Mike Straw](#); [Thayne Jenkins](#); [Municipal Services Building Permits](#)

Cc: [Aaron MacDonald](#)

Subject: Rezoning Application - 185 Pope Road

Sensitivity: Normal

Attachments:

[185 Pope Road application.pdf](#); [185 Pope Road Preliminary Plans.pdf](#); [185 Pope Road Site Plan.pdf](#);

Rec'd an application for rezoning at 185 Pope Road (PID 548610). It was suggested to send out the plans for comment gathering at this point. The application/plans have been entered into the system.

Please see attached.

Cindy

185 Pope Road application.pdf

Official Plan/Zoning Bylaw Amendment Application

Applicant's name JAMIE RODGERSON
 Property owner's name HARLOK HOLDINGS INC
 Civic address (address of permit) PID 548610 LOCATED IN BETWEEN 169-171 POPE RD.
 Mailing Address (if different) 106 HALKE DRIVE, C1N 5H3 SUMMERSIDE PE
 Primary phone 902-315-4422 Secondary phone _____
 Email address RODGERSONCONSTRUCTION@gmail.com
 Property number PID 548610 Lot number _____



Amendment:
☐ Official Plan ☒ Zoning

Description of Project:

I AM APPLYING TO REZONE MY LAND TO ACCOMMODATE
A SENIOR HOUSING DEVELOPMENT. PLEASE FIND ATTACHED
THE PROPOSED PLANS.

MY LAND IS CURRENTLY ZONED M-1, I WOULD
BE LOOKING FOR REZONING + SPECIAL USE FOR MY
PROPERTY. THE DESIGNS ARE TO NATIONAL FIRE STANDARDS +
BUILDING CODES.

PROPERTIES TO BE RENTED INDIVIDUALLY.

I DO SOLEMNLY DECLARE:

1. That I am the Owner, or the Authorized Agent of the Owner, named in the application for a permit hereto attached.
2. That the statements contained in this application are true and made with full knowledge of the circumstances connected with the same.
3. That the site plans submitted correctly set out the dimensions and the area of the lands described in the application, and the relation of the location of the proposed building to the street and property line.
4. That I know of no reason why the permit should not be granted to me in pursuance of the said application, and making this declaration conscientiously believing it to be true.
5. I waive all rights or action against the City of Summerside and/or its officers, agents, or employees in respect to negligence or any damages which may be caused through the enforcement of any provision or provisions in any of the City Bylaws or for the revoking of a permit for any cause or irregularity of nonconformity with the Bylaws or regulations adopted by the City of Summerside.

Signature of Owner/Agent

Date

APR 18th 2024



Revision:

Jamie
Rodgersen &
Sons

Project:
Tiny Homes
Development

Sheet Title:

Cover Sheet

Client Rep:

Jamie R.

Scale:

As noted

Issue Date:

March 18 2024

Drawn By:

K.G.

Drawing:

S100

Documents:

- S100 - Cover sheet
- S101 - Site Plan
- S102 - Site Plan Renderings
- S103 - Floor Plan - 1 Story - 2 Bedroom - 16'x32'
- S104 - Side Elevations

RECEIVED

APR 08 2024

Preliminary
Not for Construction
Print on 11"x17"

RECEIVED

APR 08 2024

Revision:

Jamie
Rodgers &
Sons

Project:
Tiny Homes
Development

Sheet Title:

V1 - 1 story
- 2 Bedroom
- 16x32

Client Rep:

Jamie R.

Scale:

As noted

Issue Date:

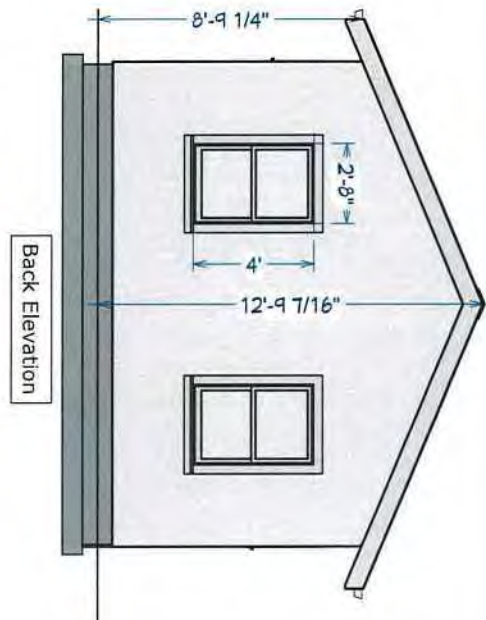
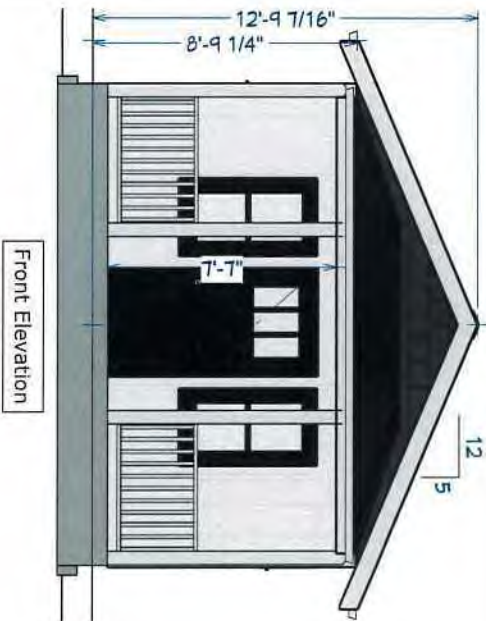
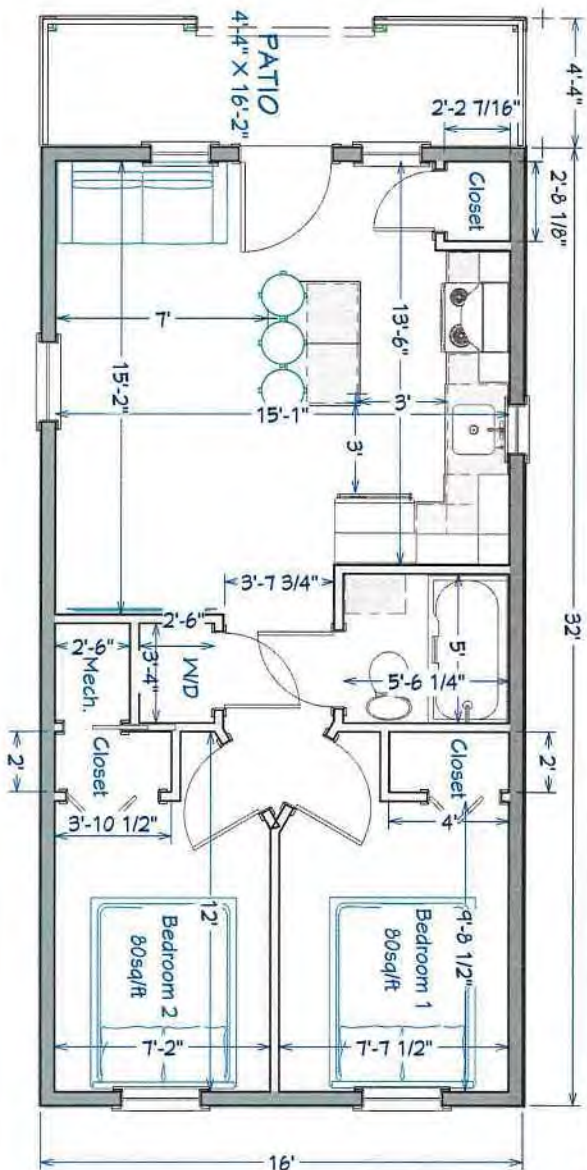
March 18 2024

Drawn By:

K.G.

Drawing:

S103



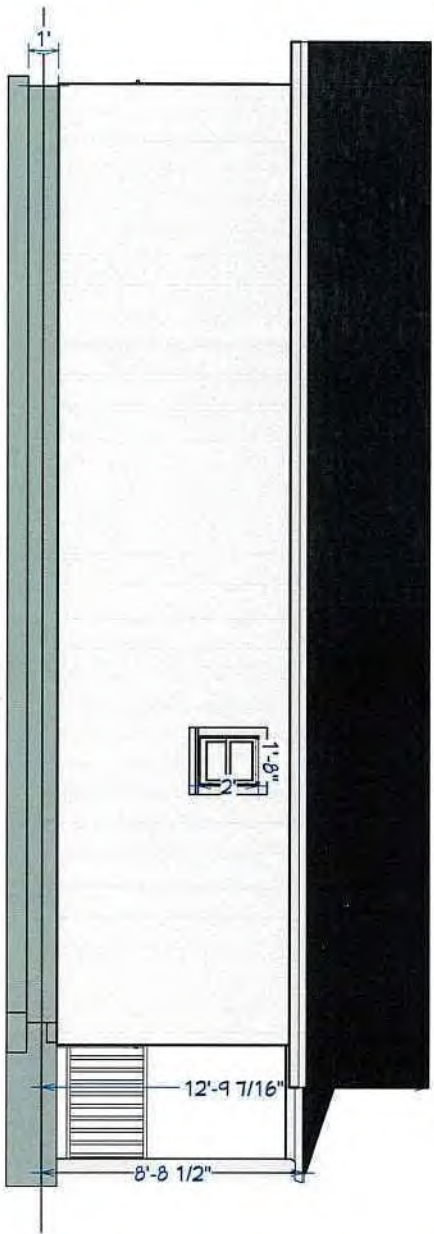
Preliminary
Not for Construction
Print on 11"x17"
Scale: 1/4" = 1' - 0"

RECEIVED
APR 08 2024

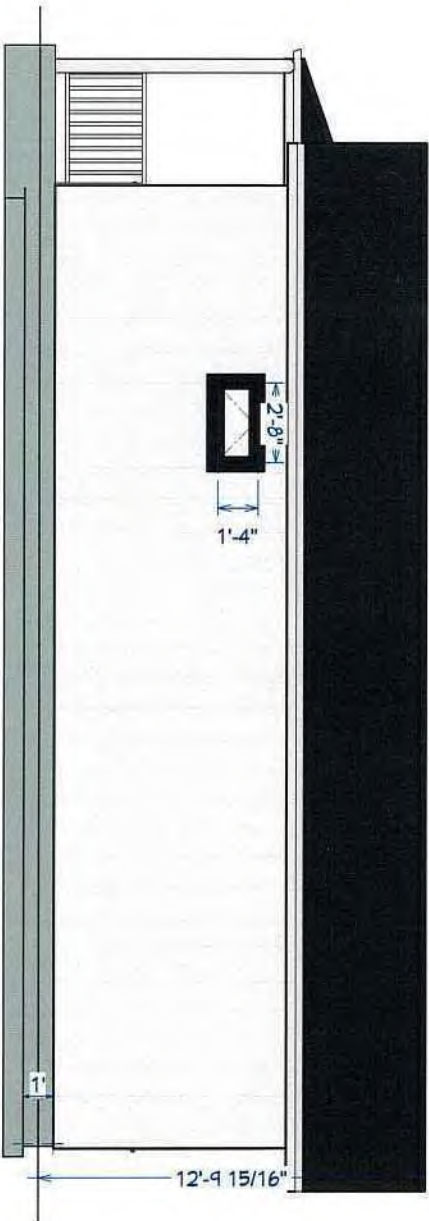
Project
Ting Homes
Development

Revision:

Jamie
Rodgersen &
Sons



Left Elevation



Right Elevation

Preliminary
Not for Construction
Print on 11"x17"
Scale: 1/4" = 1' - 0"

Sheet Title:

Side
Elevations

Client Rep:

Jamie R.

Scale:

As noted

Issue Date:

March 18 2024

Drawn By:

K.G.

Drawing:

S104

RECEIVED
APR 08 2024

Revision:

Jamie
Rodgers &
Sons

Project
Tiny Homes
Development

Sheet Title:

Client Rep:

Jamie R.

Scale:

As noted

Issue Date:

March 18 2024

Drawn By:

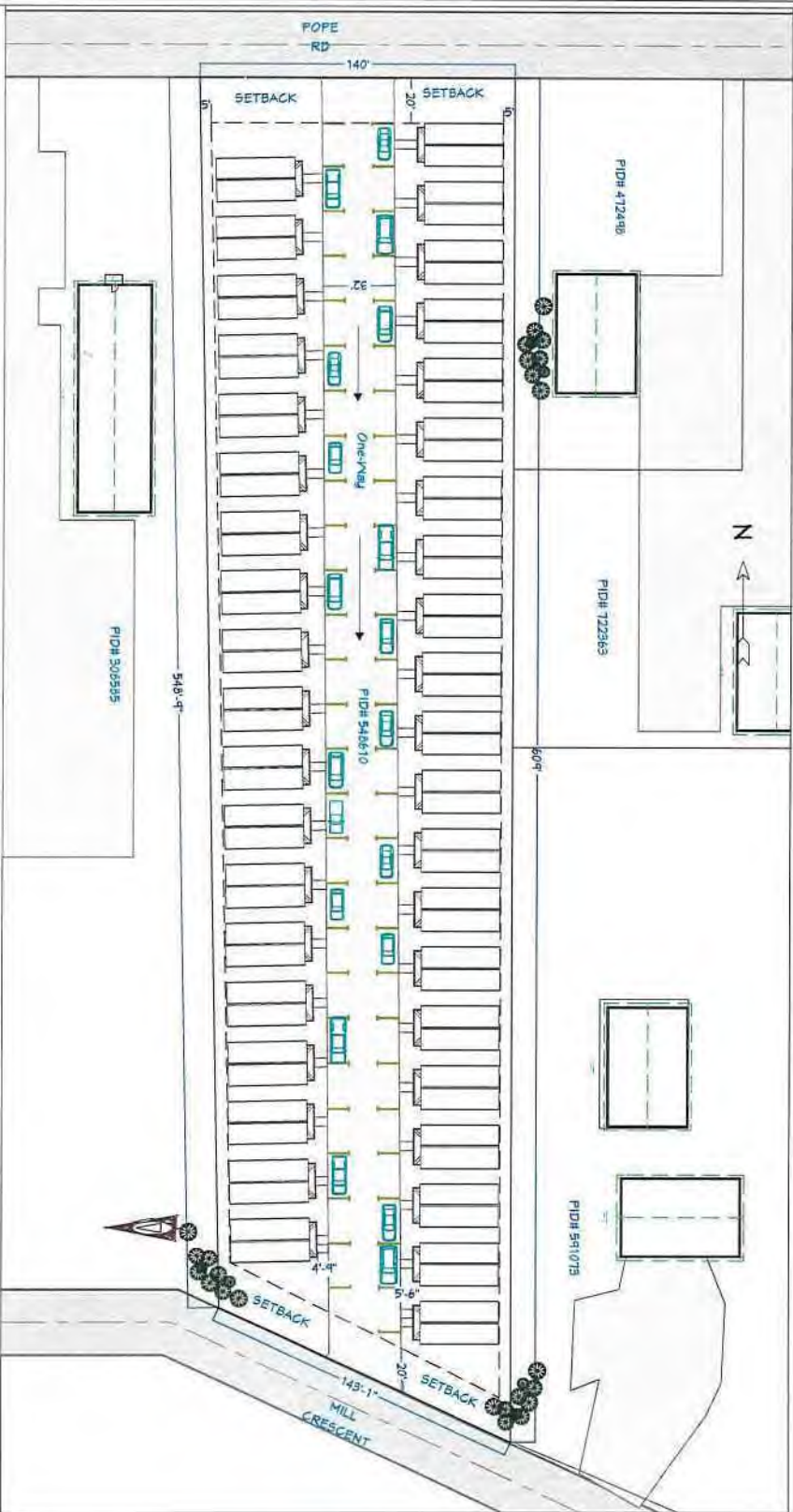
K.G.

Drawn By:

S102

NOTES:

- 1 Property line measurements are approximate and subject to professional site survey.
- 2 There are 40 homes with 53 parking spots.
- 3 Total property size is 77,900sq/ft.
18,600sq/ft of roadway(24%)
20,480sq/ft of buildings(26%)
38,820sq/ft of green space(50%)
- 4 Homes are separated 2.4 metres in accordance to Section 3.2.3.1 of NBC2015 to meet minimum fire separation. This code requires no more than 0.35m2 window area on exposed walls.



Preliminary
Not for Construction
Print on 11"x17"
Scale: 1" = 50' - 0"

From: [Thayne Jenkins](#)
Sent: April 8, 2024 3:21:39 PM
To: [Cindy Bedwell](#); [Tony Gallant](#); [Gary McInnis](#); [Mike Straw](#); [Municipal Services Building Permits](#)
Cc: [Aaron MacDonald](#)
Subject: Re: Rezoning Application - 185 Pope Road
Response requested: Yes
Sensitivity: Normal

I asked Cindy to bump out in case there are any big showstoppers, For example, front and rear yard setbacks are 5ft. There is no residential zone currently that allows a 5 ft front or rear yard setback. The only zone that may accommodate special development standards on a case-by-case basis is the Comprehensive Development Area CDA zone. The proposal requires official plan and zoning amendments from Industrial to CDA. There may be other issues such as parking on a one-way private road, width of road for fire trucks, etc.

Thayne Jenkins
Planning Officer
City of Summerside
275 Fitzroy Street
Summerside, PE C1N 1H9
Direct Line: 902-432-1260
Facsimile: 902-436-3191
E-mail: Thayne.Jenkins@city.summerside.pe.ca
Website: www.summerside.ca

This e-mail is directed in confidence solely to the persons to whom it is addressed and may not otherwise be distributed, copied or disclosed. If you have received this e-mail in error, please reply to the sender advising of the error and destroy the original message, without making a copy. Thank you.

From: Cindy Bedwell
Sent: Monday, April 8, 2024 2:58 PM
To: Tony Gallant ; Gary McInnis ; Mike Straw ; Thayne Jenkins ; Municipal Services Building Permits
Cc: Aaron MacDonald
Subject: Rezoning Application - 185 Pope Road
Rec'd an application for rezoning at 185 Pope Road (PID 548610). It was suggested to send out the plans for comment gathering at this point. The application/plans have been entered into the system.
Please see attached.
Cindy

From: [Mike Straw](#)
Sent: April 9, 2024 8:33:56 AM
To: [Thayne Jenkins](#)
Cc: [Aaron MacDonald](#); [Cindy Bedwell](#); [Tony Gallant](#); [Gary McInnis](#)
Subject: RE: Rezoning Application - 185 Pope Road
Response requested: Yes
Sensitivity: Normal

Thayne,
I realize the info provided is for a rezoning application but there are some errors noted in regards to the building. Drawing S102 Note 4: *"Homes are separated 2.4 meters in accordance to Section 3.2.3.1 of NBC 2015 to meet minimum fire separation. This code requires no more than 0.35m² window area on exposed walls."*
This information is incorrect. The reference section is 9.10.15.4 of the 2020 edition of the NBC. The limiting distance is taken from a centerline between the two dwellings, so at 2.4m the limiting distance is 1.2m. Based on the exposed wall size of 23.8m², Table 9.10.15.4 shows a maximum allowed glazing area (inc rough openings) of 7% which would be a maximum glazing area of 1.66m² as opposed to the 0.35m² stated.
Per 9.10.15.5.(11) the roof soffits will be required to have no openings and be protected per the method noted in the article, the plans for building permit will need to state how roof ventilation will be provided without using the soffits. The width of the lane for fire trucks is outside the NBC in this case but usually the requirement is 6m.

Mike Straw C. Tech
Building Officer
City of Summerside
Technical Services Department
275 Fitzroy Street
Summerside PE C1N 1H9
(902) 439-2991

From: Thayne Jenkins
Sent: Monday, April 8, 2024 3:22 PM
To: Cindy Bedwell ; Tony Gallant ; Gary McInnis ; Mike Straw ; Municipal Services Building Permits
Cc: Aaron MacDonald
Subject: Re: Rezoning Application - 185 Pope Road

I asked Cindy to bump out in case there are any big showstoppers, For example, front and rear yard setbacks are 5ft. There is no residential zone currently that allows a 5 ft front or rear yard setback. The only zone that may accommodate special development standards on a case-by-case basis is the Comprehensive Development Area CDA zone. The proposal requires official plan and zoning amendments from Industrial to CDA. There may be other issues such as parking on a one-way private road, width of road for fire trucks, etc.

Thayne Jenkins
Planning Officer

City of Summerside
275 Fitzroy Street
Summerside, PE C1N 1H9

Direct Line: 902-432-1260
Facsimile: 902-436-3191
E-mail: Thayne.Jenkins@city.summerside.pe.ca
Website: www.summerside.ca

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From: Cindy Bedwell <cindy.bedwell@city.summerside.pe.ca>

Sent: Monday, April 8, 2024 2:58 PM

To: Tony Gallant <Tony.Gallant@city.summerside.pe.ca>; Gary McInnis <gary.mcinnis@city.summerside.pe.ca>; Mike Straw <mike.straw@city.summerside.pe.ca>; Thayne Jenkins <Thayne.Jenkins@city.summerside.pe.ca>; Municipal Services Building Permits <MSBuildingPermits@city.summerside.pe.ca>

Cc: Aaron MacDonald <aaron.macdonald@city.summerside.pe.ca>

Subject: Rezoning Application - 185 Pope Road

Rec'd an application for rezoning at 185 Pope Road (PID 548610). It was suggested to send out the plans for comment gathering at this point. The application/plans have been entered into the system.

Please see attached.

Cindy

From: [Garrett Webster](#)

Sent: April 9, 2024 9:54:48 AM

To: [Thayne Jenkins](#); [Cindy Bedwell](#); [Tony Gallant](#); [Gary McInnis](#); [Mike Straw](#); [Municipal Services Building Permits](#)

Cc: [Aaron MacDonald](#)

Subject: RE: Rezoning Application - 185 Pope Road

Sensitivity: Normal

Attachments:

[19023-Doreyview at Waters Edge Summerside-Issued for Review.pdf](#);

For Electric Utility:

- Zoning change is fine for electrical if developer can allocate space for needed infrastructure, Utility power is available for a development in this location from either Pope Rd or Mill Crescent.
- As the space from road to building is only 5ft this is not enough space for utility poles and overhead powerlines. Developer will be required to design and construct underground power network of high/low voltage cable (and telecoms). See recently constructed Dory View subdivision as example (attached). This will need to be design coordinated with utility water/sewer/storm and other infrastructure needs. Buildings may need to push further back from street, or larger gaps between some buildings to make space for all the needed equipment. Developer and their designer should book a meeting with Summerside Electric to discuss more detailed electrical plans if/when proceeding.

Something not in my electrical realm but Greg has been noting in conversation lately, what is the garbage collection plan for something this dense with street parking 100% lining both sides? Will Island Waste even consider this on their route?

Garrett

From: Thayne Jenkins

Sent: Monday, April 8, 2024 3:22 PM

To: Cindy Bedwell ; Tony Gallant ; Gary McInnis ; Mike Straw ; Municipal Services Building Permits

Cc: Aaron MacDonald

Subject: Re: Rezoning Application - 185 Pope Road

I asked Cindy to bump out in case there are any big showstoppers, For example, front and rear yard setbacks are 5ft. There is no residential zone currently that allows a 5 ft front or rear yard setback. The only zone that may accommodate special development standards on a case-by-case basis is the Comprehensive Development Area CDA zone. The proposal requires official plan and zoning amendments from Industrial to CDA. There may be other issues such as parking on a one-way private road, width of road for fire trucks, etc.

Thayne Jenkins

Planning Officer

City of Summerside

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E-mail: Thayne.Jenkins@city.summerside.pe.ca

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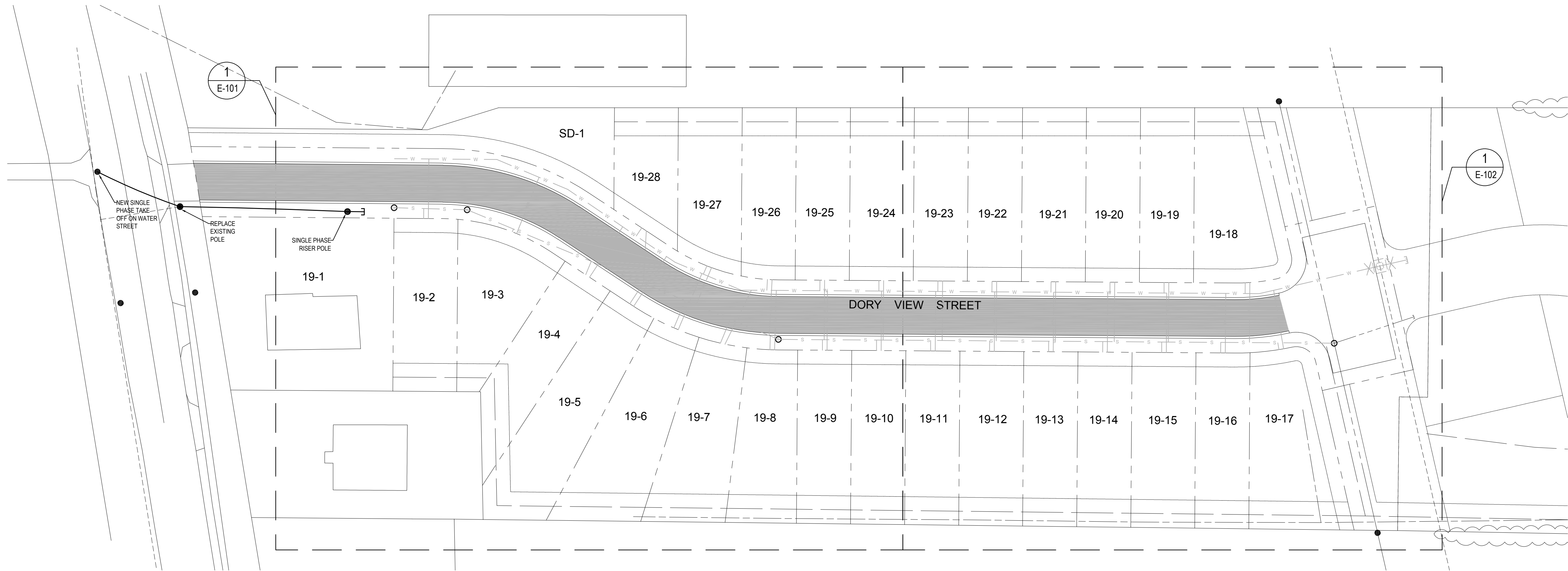
Cc: Aaron MacDonald <aaron.macdonald@city.summerside.pe.ca>

Subject: Rezoning Application - 185 Pope Road

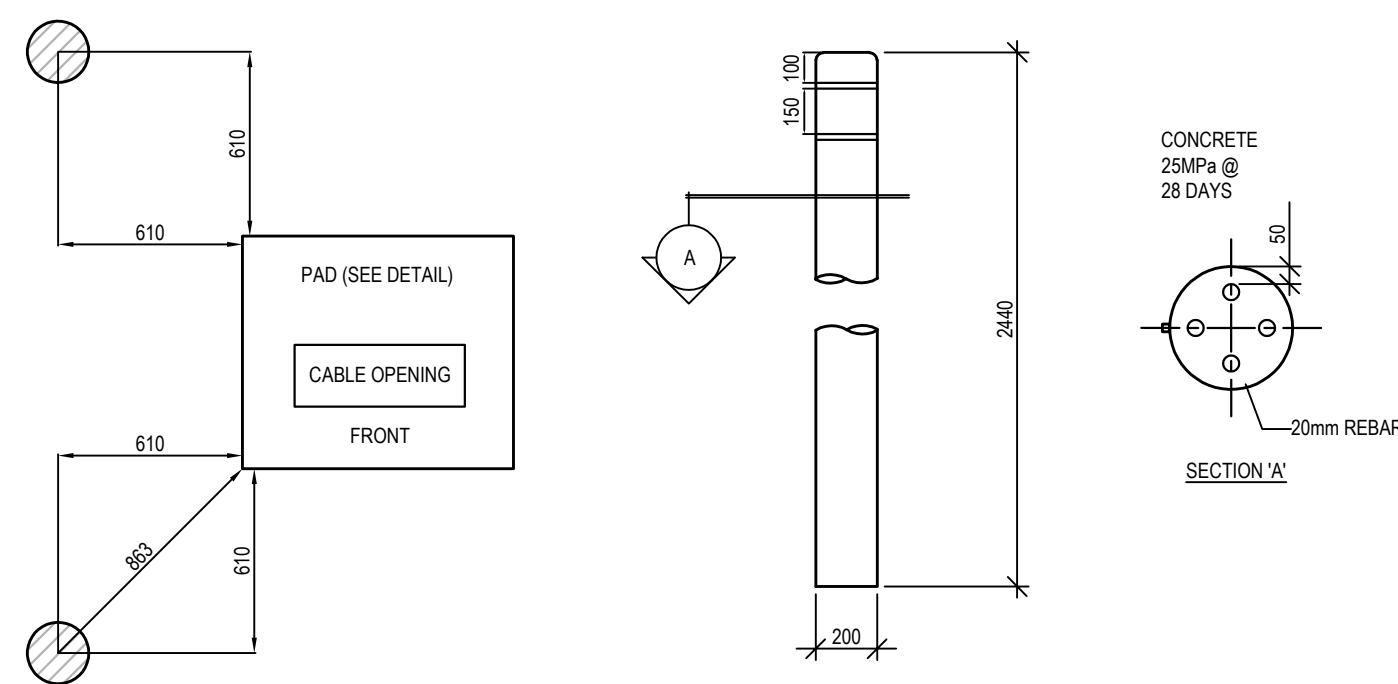
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Please see attached.

Cindy



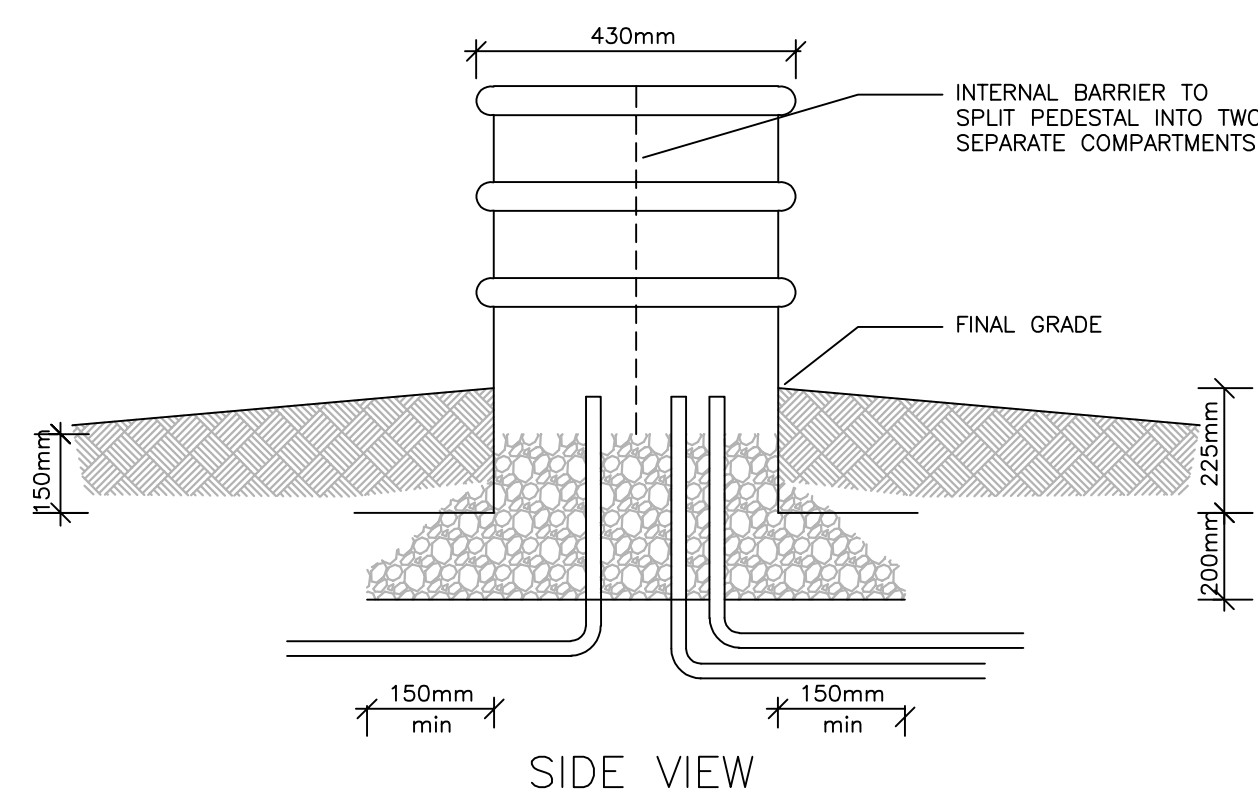
1 KEY PLAN
E-001 SCALE: 1:500



NOTES:

1. BOLLARDS ARE NOT REQUIRED AS LONG AS TRANSFORMER PADS ARE MORE THAN 3 METERS FROM THE EDGE OF THE ROAD.

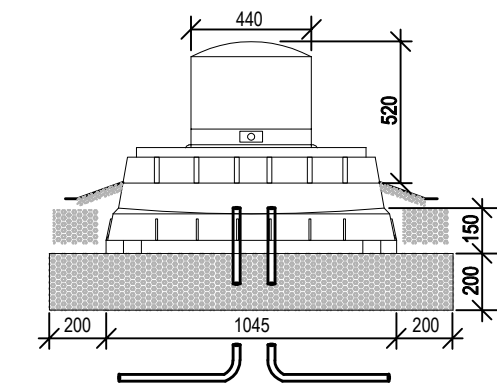
2 PAD MOUNT TRANSFORMER – BOLLARDS
E-001 SCALE: N.T.S.



NOTES:

1. COMMUNICATION PEDESTAL (CP) TO BE TYPICALLY PENCELL #AGLPNS-183218-HP2-TEL OR EQUAL BY DIV. 16.
2. FINAL GRADE TO BE SLOPED FOR GOOD DRAINAGE.
3. PEDESTAL TO SIT ON 8" LAYER OF GRAVEL BASE WITH 6" PROTRUDING FROM ALL SIDES. GRAVEL BY THIS CONTRACTOR.
5. ALL CONDUIT AND/OR CONDUCTOR TO BE PROPERLY MARKED.
6. IDENTIFY INCOMING AND OUTGOING CONDUITS. IDENTIFY SERVICE TO LOT WITH "C.A." OR "LOT".
7. CONDUIT TO BE BURIED PER ELECTRICAL CODE.

3 COMMUNICATION PEDESTAL DETAIL
E-001 SCALE: NTS



NOTES:

1. FINAL GRADE TO BE SLOPED AWAY FROM PEDESTAL FOR PROPER DRAINAGE.
2. PEDESTAL INSTALLED AT BASE OF POLE OR:
A) PAD MOUNT EQUIPMENT MUST MAINTAIN MINIMUM 1000mm FROM POLE AND MUST BE ON PRIVATE PROPERTY.
B) PEDESTAL INSTALLED ON EASEMENT WITHOUT POLE MUST MAINTAIN A MINIMUM 1000mm FROM LOT LINE FACING ROAD OR RIGHT OF WAY.
3. PEDESTAL TO SIT ON 200mm LAYER OF COMPACTED GRAVEL BASE 150mm OF GRAVEL TO PROTRUDE AROUND ENTIRE PERIMETER OF PEDESTAL.
4. BACKFILL MUST BE COMPACTED FROM BOTTOM OF TRENCH HOUSING CONDUIT TO GRAVEL BASE.
5. MATERIAL USED TO HOLD PEDESTAL IN PLACE AND GRADE AWAY TO BE TOPSOIL.
6. ALL CONDUIT SUBJECT TO CRUSHING DUE TO COMPACTION ARE TO BE P.V.C.
7. ALL 90°s IN SECONDARY BUS SYSTEM ARE TO BE P.V.C. (POLE - PEDESTAL AND/OR TRANSFORMER).
8. ALL CONDUIT TO BE PROPERLY IDENTIFIED WITH WATERPROOF TAGS INDICATING INCOMING AND OUTGOING LINES. PLEASE IDENTIFY WITH CIVIC #.
9. ORDER FOR COMPLETE UNITS - PEDESTAL WITH H.D. POLYETHYLENE BASE AG-30HD.
10. MINIMUM CONDUCTOR SIZE FEEDING A SECONDARY TAP BOX IS 3/0 COPPER, WHEN MORE THAN TWO ARE TO BE FED OFF THE BOX, LARGER CONDUCTOR MAY BE REQUIRED. MEG. IS TO BE CONTACTED FOR CONDUCTOR.

4 SECONDARY ABOVE GRADE PEDESTAL
E-001 SCALE: NTS



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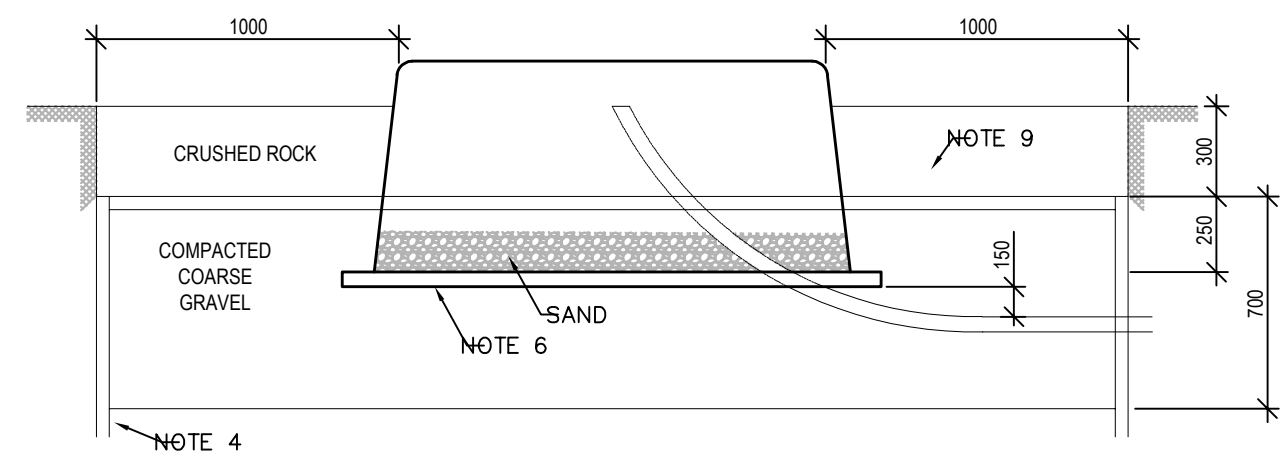
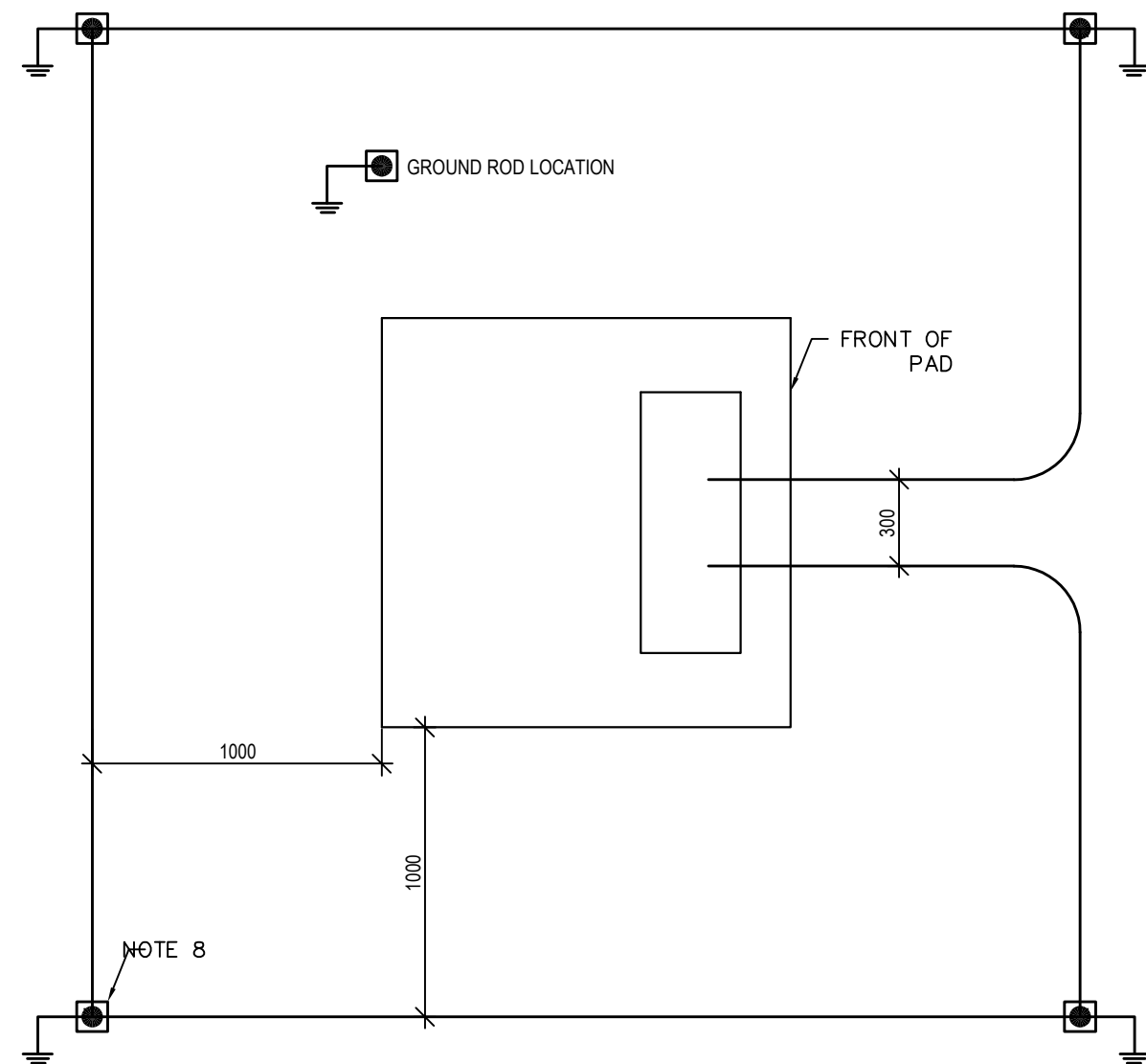
Project Name:

**DORY VIEW AT WATERS EDGE
SUMMERSIDE, PE**

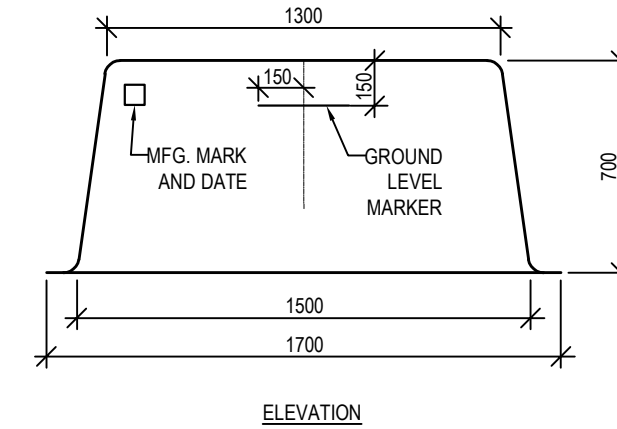
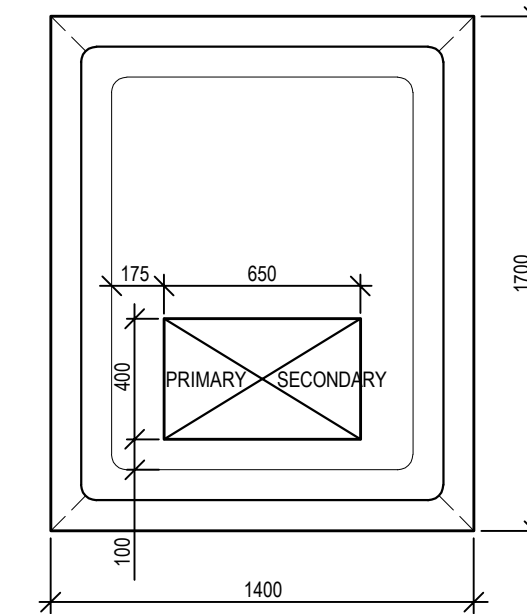
Drawing Title:

ELECTRICAL KEY PLAN & DETAILS

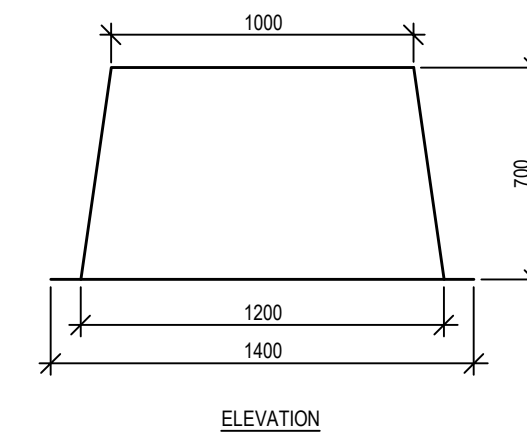
Date	MAY 22, 2019	Sheet
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		Rev No. 0



2 TYPICAL SINGLE LINE DIAGRAM
E-002 SCALE: NTS



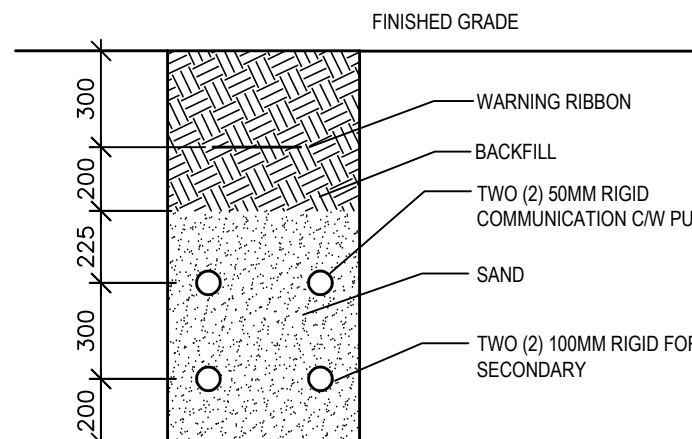
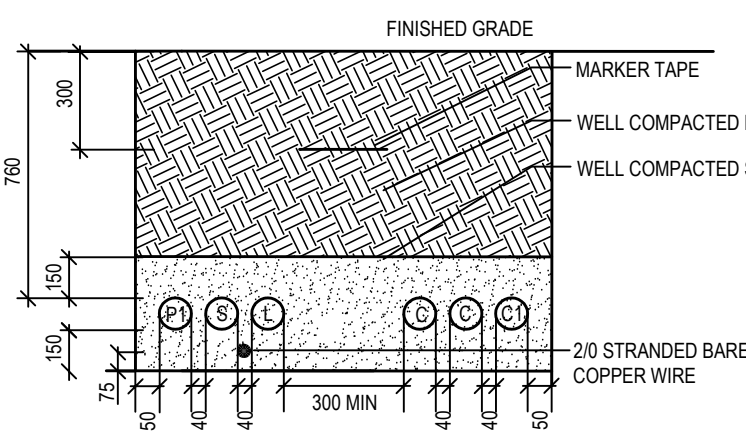
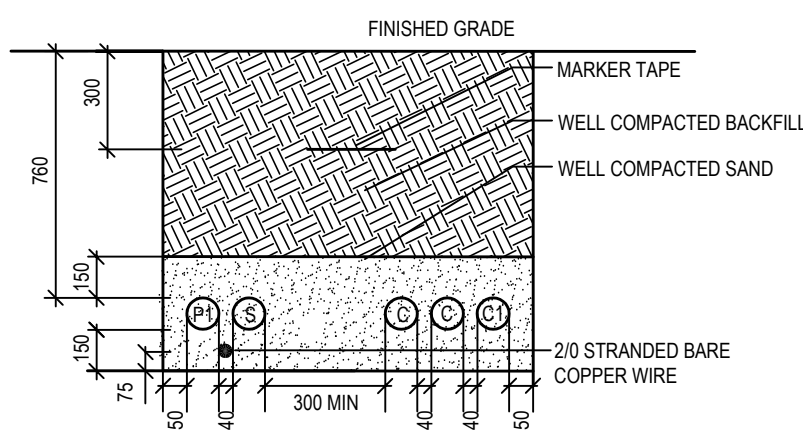
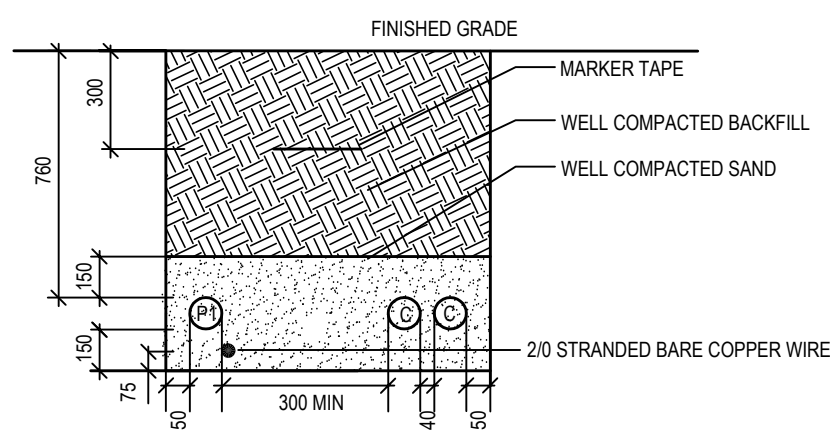
- NOTES:
1. FIBERGLASS PAD SHALL BE CONSTRUCTED WITH SUFFICIENT REINFORCING IN THE WALL AND TOP TO BE CAPABLE OF ACCOMMODATING A 4500kg DIRECT VERTICAL LOAD.
 2. TOP SHALL HAVE A SMOOTH, TRUE SURFACE. MAXIMUM DEFLECTION UNDER 1500Kg LOAD SHALL BE 2mm.
 3. MINIMUM FIBERGLASS THICKNESS SHALL BE 7mm. MINIMUM MASS 48kg.
 4. EXTERIOR FINISH SHALL BE GELCO COATED GREEN WITH ULTRA-VIOLET CONTROL 4mm THICK.
 5. ANY WOOD USED FOR FABRICATION SHALL BE THOROUGHLY ENCASED IN FIBERGLASS.
 6. GROUND LEVEL MARKER SHALL BE 25mm WIDE, SUPER ADHESIVE MYLAR TAPE. MINIMUM 300mm LG.
 7. APPROVAL OF PAD WILL BE SUBJECT TO TESTING BY SUMMERSIDE ELECTRIC STANDARDS DEPARTMENT.
 8. ALL DIMENSIONS SHOWN ARE MILLIMETERS.
 9. THE INSTALLATION SHALL MEET THE LOCATION REQUIREMENTS OF CANADIAN ELECTRICAL CODE RULE 26-242.



5 FIBERGLASS PAD FOR SINGLE PHASE TRANSFORMERS
E-002 SCALE: NTS

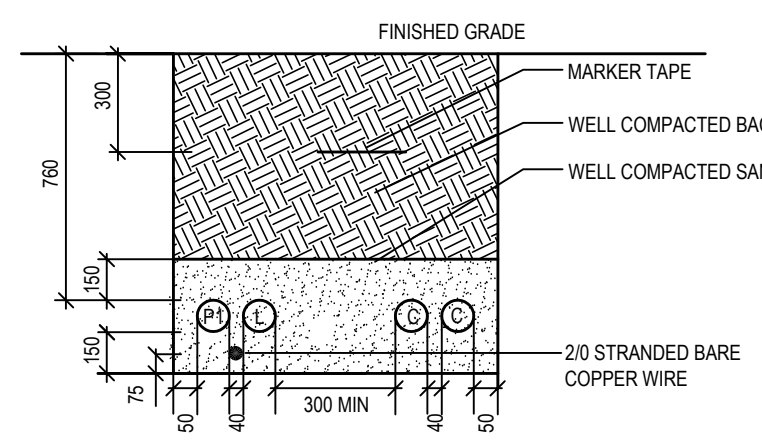
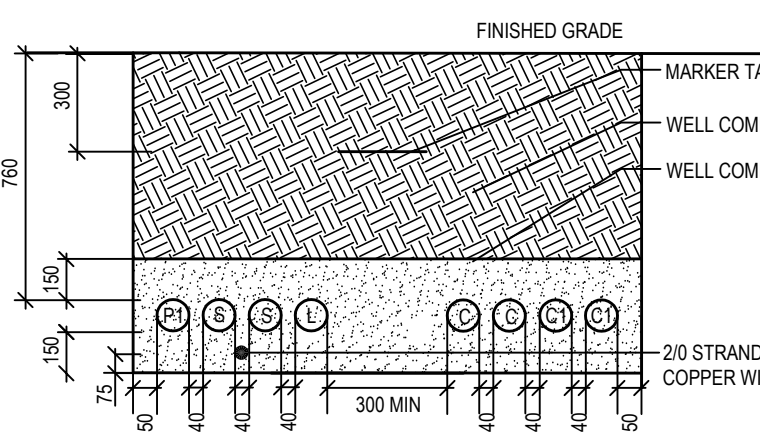
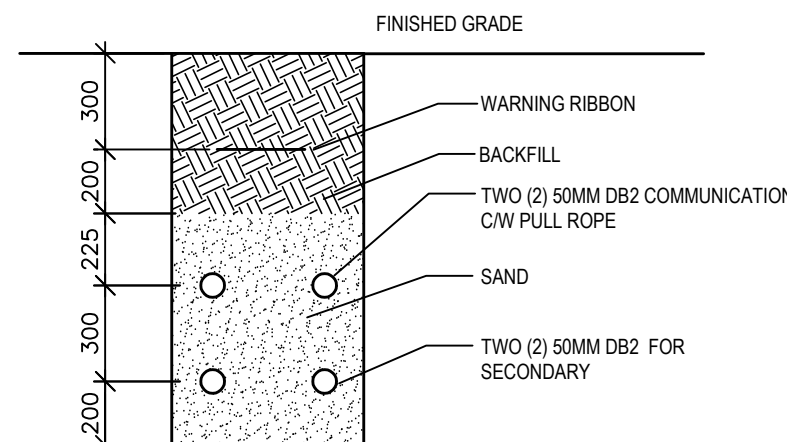
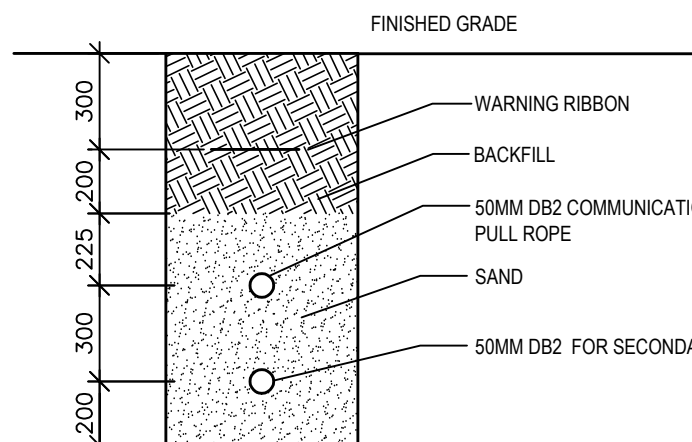
1 FIBERGLASS PAD FOR PADMOUNTED EQUIPMENT INSTALLATION DETAILS
E-002 SCALE: NTS

3 TYPICAL POWER AND COMMUNICATION PEDESTAL LAYOUT, EASEMENT AND ROAD CROSSING DETAIL
E-002 SCALE: NTS



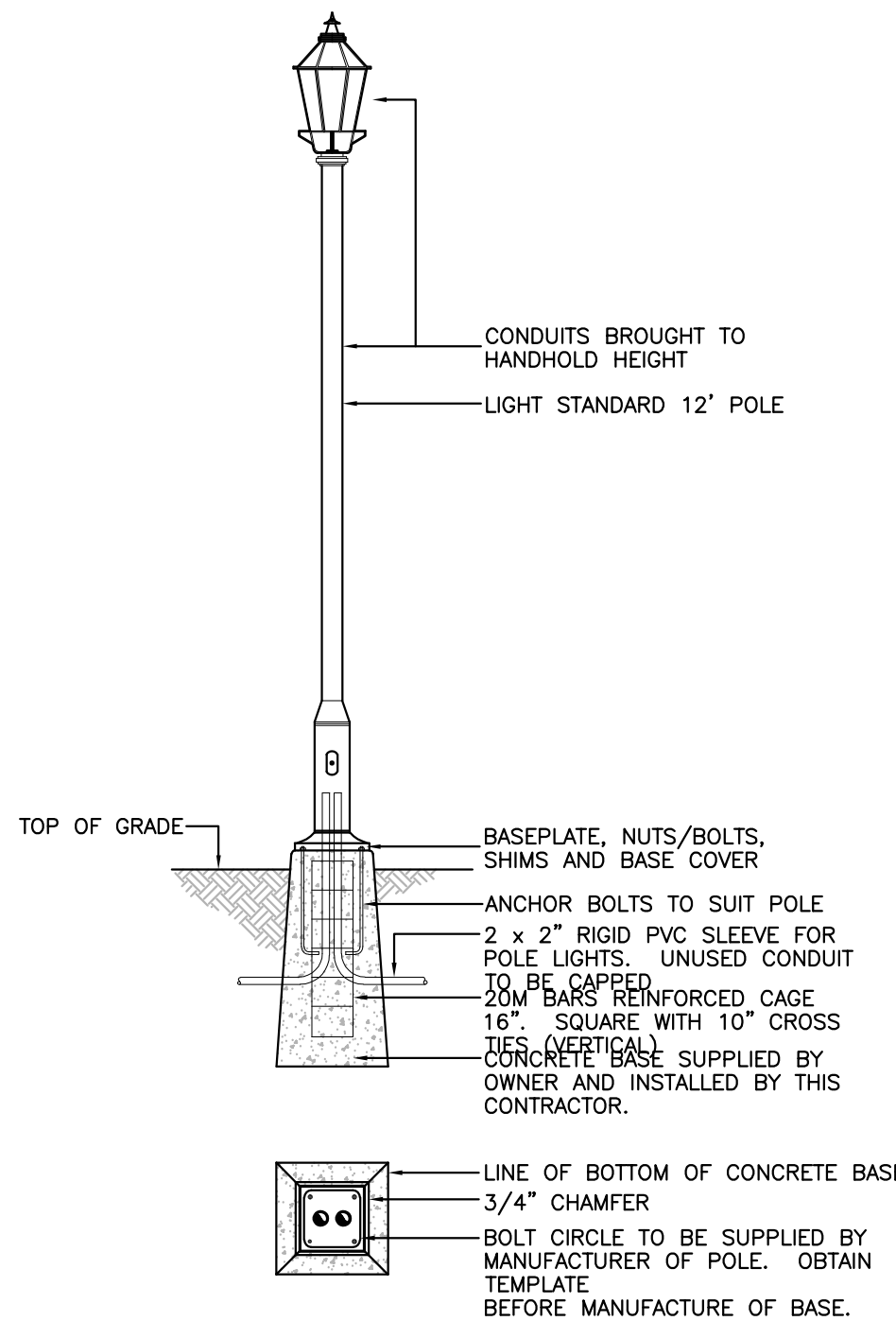
- P1 = 4" RIGID PVC CONDUIT FOR PRIMARY
S = 2" DB2 DUCT TO LOT (POWER)
C = 4" DB2 FOR COMMUNICATIONS
C1 = 2" DB2 DUCT TO LOT (COMMUNICATION)
L = 1" RIGID PVC TO LIGHT

- NOTES:
1. A MINIMUM OF 150mm (6") OF WELL COMPACTED SAND WILL BE INSTALLED ABOVE AND BENEATH CONDUITS OR PRE-DUCTED CABLE.
 2. 50mm (2") OF SAND BETWEEN CONDUITS AND TRENCH WALLS. A MINIMUM OF 300mm (12") SHALL BE KEPT BETWEEN SUMMERSIDE ELECTRIC AND COMMUNICATIONS.
 3. RED MARKER TAPE TO BE INSTALLED 300mm (1ft) BELOW FINAL GRADE.
 4. A FISH LINE OF 1/2" NYLON ROPE OR EQUIVALENT SHALL BE INSTALLED IN EACH CONDUIT AND ROPE SECURED.
 5. A MINIMUM OF 50mm (2in) OF WELL COMPACTED BACKFILL WILL BE PLACED OVER THE SAND TO PROVIDE MINIMUM COVER OF 750mm (2'-6").
 6. TRENCH INDICATES TWO DUCTS FOR COMMUNICATION CABLE. FOR SPEED-TO-PE REQUIREMENT, CONTACT ALIANT AND/OR CATV.
 7. THE NUMBER AND SIZE OF DUCTS MAY VARY. THE MINIMUM CLEARANCES SHOULD BE MAINTAINED.
 8. DUCTS SHALL BE PERMANENTLY IDENTIFIED AT BOTH ENDS IN A METHOD SATISFACTORY TO SUMMERSIDE ELECTRIC.



4 TRENCH DETAILS
E-002 SCALE: NTS

6 LIGHT STANDARD DETAIL (TYP)
E-002 SCALE: NTS



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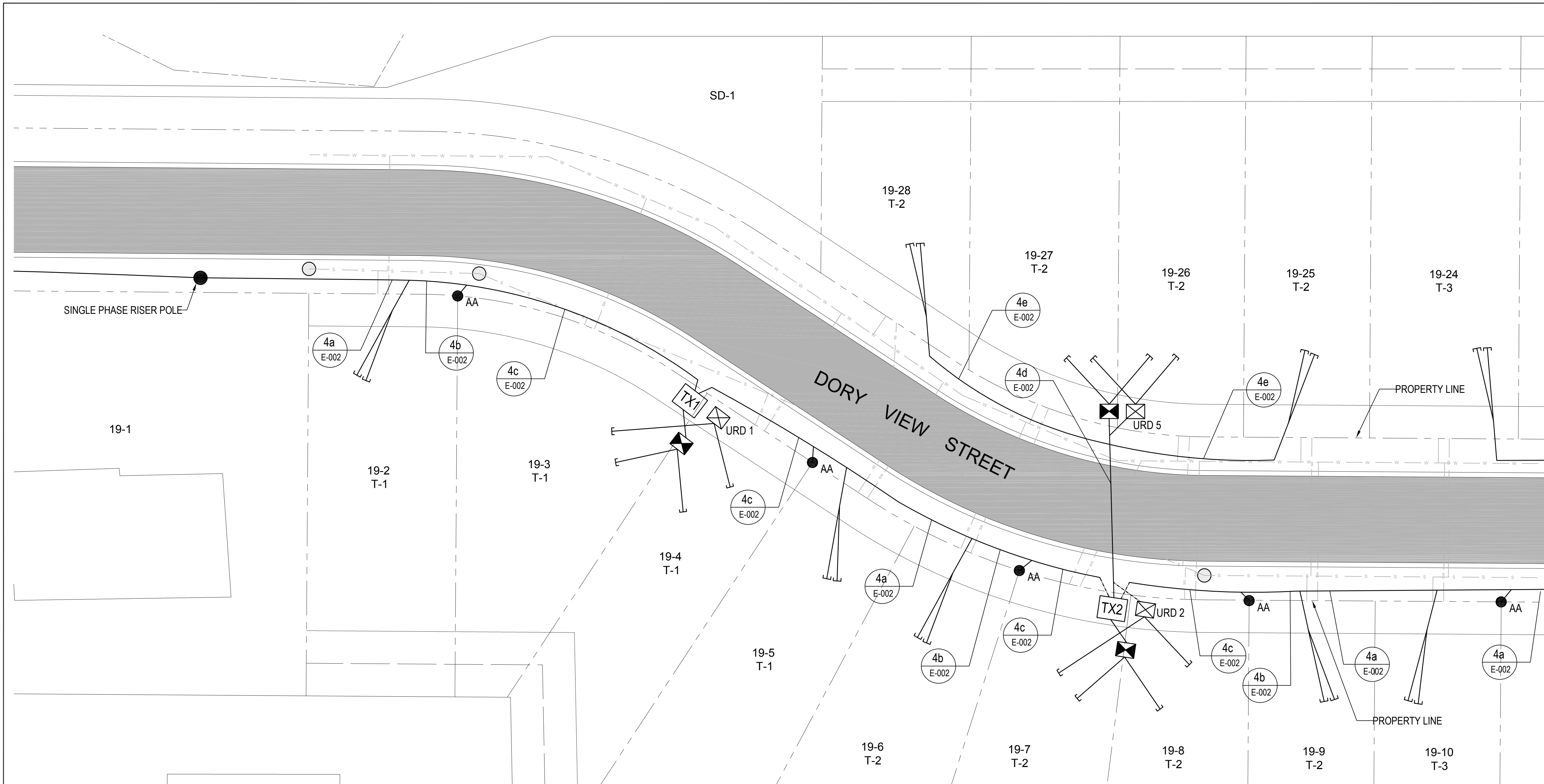
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**DORY VIEW AT WATERS EDGE
SUMMERSIDE, PE**

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ELECTRICAL DETAILS

Date	MAY 22, 2019	Sheet
Scale	AS NOTED	E-002
Drawn	SCW	
Engineer	CM	
Project No	2019.023	
Rev No.	0	



1 ELECTRICAL SITE PLAN - A
E-101 SCALE: 1:200

TRANSFORMER SCHEDULE	
TRANSFORMER	KVA
TX-1	50
TX-2	75
TX-3	75
TX-4	50

LIGHT FIXTURE SCHEDULE							
TAG	DESCRIPTION	SOURCE	VOLTS	WATTS	LUMENS	MANUFACTURER	MODEL #
AA	POLE MOUNTED LED, FIXTURE 3000K, DIE CAST ALUMINUM CONSTRUCTION, COMPLETE WITH ROUND STEEL POLE, BLACK IN COLOR.	LED	120	-	4924	TRADITIONAIRE	1474
		ACCEPTED ALTERNATIVES					
		ACCUTY, CREE, EATON, PHILLIPS					

- SYMBOL LEGEND:
- TX TRANSFORMER PAD
 - SECONDARY ABOVE GRADE PEDI
 - COMMUNICATION PEDESTAL
 - LIGHT STANDARD



DEVELOPER

-

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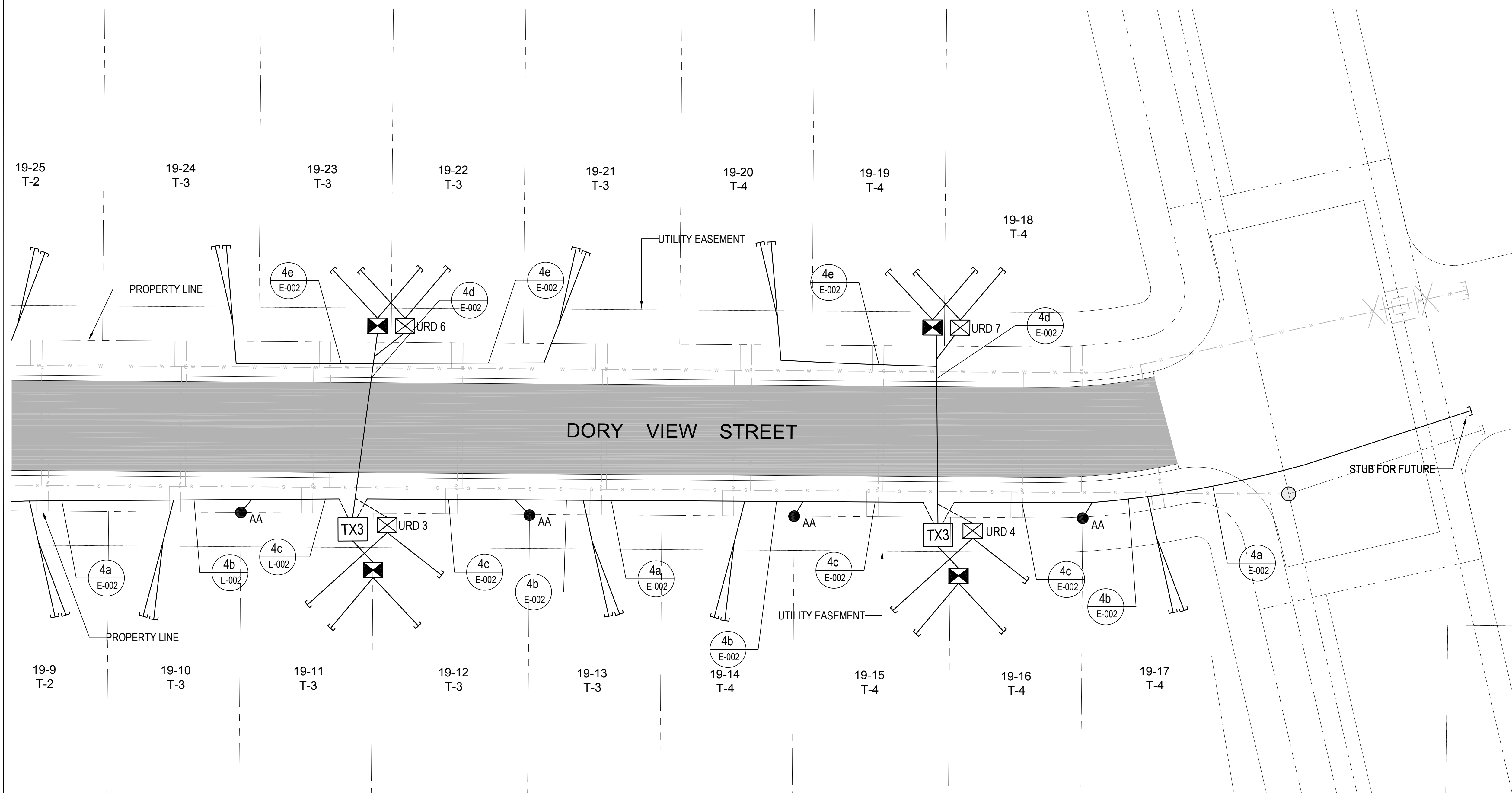
Project Name:

**DORY VIEW AT WATERS EDGE
SUMMERSIDE, PE**

Drawing Title:

ELECTRICAL SITE PLAN

Date	MAY 22, 2019	Sheet
Scale	1:200	E-101
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Engineer	CM	
Project No	2019.023	Rev No. 0



1 ELECTRICAL SITE PLAN - B
E-102 SCALE: 1:200

- SYMBOL LEGEND:
- TX TRANSFORMER PAD
 - SECONDARY ABOVE GRADE PEDIST
 - COMMUNICATION PEDESTAL
 - AA LIGHT STANDARD



DEVELOPER
-

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Project Name:
**DORY VIEW AT WATERS EDGE
SUMMERSIDE, PE**

Drawing Title:
ELECTRICAL SITE PLAN

Date	MAY 22, 2019	Sheet
Scale	1:200	E-102
Drawn	SCW	
Engineer	CM	
Project No	2019.023	
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26 05 00 - COMMON WORK RESULTS ELECTRICAL

EXAMINATION OF SITE AND CONDITIONS

1) EXAMINE THE SITE AND LOCAL CONDITIONS AFFECTING THE WORK WITH ALL TENDER DOCUMENTS, TO ENSURE THE WORK CAN BE SATISFACTORILY PERFORMED AS SHOWN. PRIOR TO COMMENCING WORK, EXAMINE THE WORK OF OTHER DIVISIONS AND REPORT AT ONCE ANY DEFECT OR INTERFERENCE AFFECTING THE WORK OF THIS CONTRACTOR. NO ALLOWANCE WILL BE MADE LATER FOR ANY EXPENSES INCURRED THROUGH FAILURE TO MAKE THIS EXAMINATION OR TO REPORT ANY DISCREPANCIES IN WRITING.

2) THIS CONTRACTOR IS TO ATTEND ALL SITE MEETINGS PRIOR TO CLOSE OF TENDER TO CONFIRM SCOPE OF WORK.

BY-LAW AND REGULATIONS

1) CONFORM WITH LATEST RULES, REGULATIONS AND DEFINITIONS OF THE CANADIAN ELECTRICAL CODE, APPLICABLE MUNICIPAL AND PROVINCIAL CODES AND REGULATIONS AND WITH REQUIREMENTS OF OTHER AUTHORITIES HAVING JURISDICTION IN THE AREA WHERE WORK IS TO BE PERFORMED.

2) STANDARDS ESTABLISHED BY DRAWINGS AND SPECIFICATIONS SHALL NOT BE REDUCED BY ANY CODES REFERRED TO ABOVE AND MINOR CHANGES REQUIRED BY AN AUTHORITY HAVING JURISDICTION SHALL BE PERFORMED WITHOUT CHANGE TO THE CONTRACT AMOUNT.

SAFETY REQUIREMENTS

1) CLEAN SITE AT REGULARLY SCHEDULED TIMES. LEAVE WORK CLEAN BEFORE INSPECTION PROCESS COMMENCES.

2) DO NOT LEAVE THE SITE IN DANGEROUS CONDITIONS, UNDER ANY CIRCUMSTANCES, DURING THE PROGRESS OF WORK.

CO-OPERATION AND RESPONSIBILITY

1) INCLUDE FULL RESPONSIBILITY FOR LAYOUT OF ELECTRICAL WORK, FOR DAMAGE CAUSED TO OTHER DIVISIONS OF WORK BY REASON OF IMPROPER LOCATION OR INSTALLATION OF WORK IN ADVANCE OF CONCRETE POURING OR SIMILAR WORK, FOR CONDITIONS OF ALL MATERIAL AND EQUIPMENT SUPPLIED UNDER THIS DIVISION AND FOR PROTECTION AND MAINTENANCE OF WORK COMPLETED AND ACCEPTED UNTIL TERMINATION OF CONTRACT.

2) CO-OPERATE WITH OTHER DIVISIONS TO ENSURE THAT ITEMS INSTALLED UNDER THIS DIVISION ARE LOCATED IN PROPER RELATION WITH BUILDING CONSTRUCTION, ARCHITECTURAL FINISHES AND WITH OTHER EQUIPMENT OR APPARATUS.

GUARANTEE

1) GUARANTEE MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE BY ENGINEER. EXCEPT FOR INCANDESCENT LAMPS WHICH SHALL BE GUARANTEED FOR A PERIOD OF 90 DAYS FROM DATE OF FINAL ACCEPTANCE. ALL DEFECTS SHALL BE CORRECTED AND MADE GOOD DURING THIS PERIOD EXCEPT DEFECTS OCCURRING FROM MISUSE BY OWNER.

PERMITS FEES AND CERTIFICATES

1) FILE CONTRACT DRAWINGS WITH PROPER AUTHORITIES AND OBTAIN APPROVAL OF INSTALLATION AND PERMITS FOR THE WORK. PREPARE AND SUBMIT NECESSARY DETAIL SHOP DRAWINGS AS REQUIRED BY AUTHORITIES.

2) PAY ALL FEES IN CONNECTION WITH EXAMINATION OF DRAWINGS, FOR PERMITS, INSPECTIONS AND FINAL CERTIFICATES OF APPROVAL.

3) SUPPLY NECESSARY CERTIFICATES AS EVIDENCE THAT WORK AS INSTALLED CONFORMS WITH LAWS AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION.

EQUIPMENT SHOP DRAWINGS

1) PREPARE AND SUBMIT A MINIMUM OF SIX SHOP DRAWINGS OF ALL MAJOR ITEMS OF EQUIPMENT PRIOR TO EQUIPMENT FABRICATION, DELIVERY OR INSTALLATION. SHOP DRAWINGS SHALL INDICATE MANUFACTURER, CATALOGUE NUMBER, DIMENSIONS, SPECIAL FEATURES OR FINISHES.

2) SUBMIT SHOP DRAWING WITHIN (7) DAYS OF AWARD OF CONTRACT.

3) THE OWNER RESERVES THE RIGHT TO WAIVE APPROVAL DRAWINGS AND ACCEPT RECORD DRAWINGS, THIS IN NO WAY RELIEVES THE CONTRACTOR FROM SUPPLYING THE SPECIFIC EQUIPMENT.

4) THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL SHOP DRAWINGS FOR ERRORS OR OMISSIONS TO CONFORM WITH ACCURACY REQUIREMENTS OF DIMENSIONS TO CONFORM WITH SITE CONDITIONS AND FOR INFORMATION THAT PERTAINS SOLELY TO EQUIPMENT FABRICATION PROCESSES.

AS BUILT DRAWINGS

1) THE CONTRACTOR SHALL MAINTAIN ON SITE ONE SET OF UP TO DATE AS BUILT DRAWINGS FOR REVIEW AT ALL TIMES. AT THE END OF THIS CONTRACT THE CONTRACTOR SHALL SUPPLY THE OWNER A COMPLETE SET OF AS BUILT DRAWINGS FOR HIS REVIEW AND ACCEPTANCE.

2) PROVIDE THREE (3) OPERATIONS AND MAINTENANCE MANUALS IN 3 POST BACK BINDER AT COMPLETION OF THE PROJECT. MANUALS SHALL CONTAIN A LIST OF SUPPLIERS INCLUDING TELEPHONE NUMBERS, SHOP DRAWINGS, FINAL ELECTRICAL INSPECTION CERTIFICATE, FIRE ALARM VERIFICATION, RECORD DRAWINGS, AND TEST REPORTS. EACH SECTION SHALL BE SEPARATELY TABBED. EACH PIECE OF EQUIPMENT REQUIRING ADJUSTMENT OR REGULAR MAINTENANCE SHALL HAVE CLEAR INSTRUCTIONS TO HOSE REQUIREMENTS.

COMPLETION

1) LEAVE ALL NEW AND RELOCATED EQUIPMENT CLEAN, FREE OF CONSTRUCTION DEBRIS AND OTHER FOREIGN MATTER. REMOVE ANY TEMPORARY OR PROTECTIVE COATINGS.

2) UPON COMPLETION OF THE WORK THE CONTRACTOR SHALL PROVIDE IN A TIMELY FASHION *AS BUILT* DRAWINGS, LETTER OF WARRANTY, OWNERS MANUAL AND WORKERS COMPENSATION CLEARANCE CERTIFICATE.

EQUIPMENT LOCATIONS

1) THE RIGHT IS RESERVED TO ALTER THE LOCATION OF EQUIPMENT AND OUTLETS AT DISTANCE OF UP TO TEN FEET (3 METERS) WITHOUT INVOLVING A CHANGE TO THE CONTRACT AMOUNT, PROVIDED NOTICE IS GIVEN PRIOR TO INSTALLATION OF SAME.

CONTRACT DRAWINGS

1) THESE DRAWINGS ARE INTENDED TO SERVE AS A GUIDE SHOWING QUANTITIES AND GENERAL ARRANGEMENTS AND ARE NOT NECESSARILY WORKING DRAWINGS FROM WHICH MEASUREMENTS CAN BE TAKEN, EXCEPT WHERE DIMENSION FIGURES ARE SPECIFICALLY SHOWN. INFORMATION INVOLVING ACCURATE MEASUREMENTS OF BUILDING SHALL BE TAKEN FROM BUILDING DRAWING OR FROM THE SITE.

MATERIAL

1) MATERIALS SUPPLIED BY THIS CONTRACTOR SHALL BE NEW, OF CANADIAN MANUFACTURE WHERE AVAILABLE AND OF FIRST QUALITY AND UNIFORM THROUGHOUT.

2) ALL ELECTRICAL MATERIALS SHALL BE CSA APPROVED AND LABELED AND ALL MATERIALS NOT APPROVED SHALL RECEIVE ACCEPTANCE FOR INSTALLATION BY SPECIAL APPLICATION TO CSA. MATERIAL SHALL NOT BE INSTALLED OR CONNECTED TO A SOURCE OF ELECTRICAL POWER UNTIL APPROVAL IS OBTAINED.

RETURN OF DRAWINGS

1) AT THE COMPLETION OF THE JOB, ALL DRAWINGS SHALL BE RETURNED, REGARDLESS OF THEIR CONDITION.

PLANS FOR RECORDING CHANGES

1) OBTAIN ONE SET OF WHITE PRINTS AND RECORD ON ANY ALTERATIONS OF THE ROUTING OF CONDUIT, WIRING AND ETC., OR SHOW ON THE CONTRACT DRAWINGS. THESE DRAWINGS TO BE KEPT UP TO DATE AND TURNED OVER AT THE COMPLETION OF THE PROJECT.

CLEANING UP

1) ALL REFUSE AND DEBRIS CAUSED BY THIS CONTRACTOR SHALL BE REMOVED FROM THE SITE AT FREQUENT INTERVALS. BEFORE THE WORK IS FINALLY ACCEPTED BY THE OWNER, THIS CONTRACTOR SHALL THOROUGHLY CLEAN ALL EQUIPMENT, APPARATUS AND FIXTURES AND LEAVE THEM IN PERFECT NEW CONDITION.

INSTRUCTIONS TO OPERATORS

1) INSTRUCT THE OWNER'S OPERATOR IN THE CARE AND MAINTENANCE AND OPERATION OF ALL ELECTRICAL SYSTEMS AND EQUIPMENT INSTALLED UNDER THE SPECIFICATION.

2) PREPARE THREE COPIES OF OPERATIONS AND MAINTENANCE INSTRUCTIONS, SHOP DRAWINGS, WIRING DIAGRAMS, DESCRIPTIVE LITERATURE FOR EACH ITEM OF EQUIPMENT SUPPLIED. COMBINE THESE TOGETHER IN LOOSE LEAF BINDERS.

3) THESE LOOSE LEAF BINDERS SHALL BE PRESENTED UPON COMPLETION OF THE PROJECT.

INSPECTIONS AND TESTING

1) ALL WORK SHALL BE LEFT OPEN FOR INSPECTION SO THAT INSPECTION MAY BE MADE BEFORE THE WORK IS COVERED.

UTILITY SERVICES

1) THIS CONTRACTOR IS FINANCIALLY RESPONSIBLE TO PROVIDE COMPLETE ELECTRICAL, TELEPHONE AND COMPUTER SYSTEMS. THIS CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH AND PAY FOR ALL UTILITY FEES.

26 05 20 - WIRE AND BOX CONNECTORS

PRODUCTS

- ALL CONNECTIONS SHALL BE MADE ELECTRICALLY AND MECHANICALLY SECURE. SIZES OF CONNECTORS SHALL BE ACCORDING TO MANUFACTURER'S RECOMMENDATIONS FOR EACH SIZE AND COMBINATION OF WIRES.
- JOINTS REQUIRED IN BRANCH WIRING #10 AWG AND SMALLER SHALL BE MADE USING FIXTURE TWIST-ON TYPE CONNECTORS WITH CURRENT CARRYING PARTS MADE OF COPPER.
 - STANDARD OF ACCEPTANCE: MARRETTE #31, #33 OR #35 AS REQUIRED.
- JOINTS FOR WIRING #8 AWG AND LARGER SHALL BE MADE USING PRESSURE TYPE COLOUR KEYED COMPRESSION CONNECTORS WITH CURRENT CARRYING PARTS MADE OF COPPER USING COMPRESSION TOOLS. A FIRST LAYER OF TAPE SHALL BE COMPOUND TYPE FOLLOWED BY A LAYER OF SCOTCH #3 VINYL TYPE.
 - STANDARD OF ACCEPTANCE: 54000 SERIES.
- BUSHING STUD CONNECTORS: AS REQUIRED TO SUIT CONDUCTORS
- CLAMPS OR CONNECTORS FOR ARMoured CABLE AND FLEXIBLE CONDUIT AS REQUIRE

EXECUTION

- REMOVE INSULATION CAREFULLY FROM ENDS OF CONDUCTORS AND:
 - INSTALL MECHANICAL PRESSURE TYPE CONNECTORS AND TIGHTEN SCREWS WITH APPROPRIATE COMPRESSION TOOL RECOMMENDED BY MANUFACTURER. INSTALLATION SHALL MEET SECURENESS TESTS IN ACCORDANCE WITH CSA C22.2 NO. 65.
 - INSTALL FIXTURE TYPE CONNECTORS AND TIGHTEN. REPLACE INSULATING CAP.
- ALL CONNECTIONS SHALL BE MADE ELECTRICALLY AND MECHANICALLY SECURE. SIZES OF CONNECTORS SHALL BE ACCORDING TO MANUFACTURER'S RECOMMENDATIONS FOR EACH WIRE SIZE AND COMBINATION OF WIRES. TWIST WIRES TOGETHER BEFORE INSTALLING CONNECTORS. ALL STRANDED CONDUCTORS SHALL BE TWISTED TOGETHER PRIOR TO CONNECTION AROUND TERMINAL.

26 05 21 - WIRE AND CABLES (0-1000V)

PRODUCTS

- BUILDING WIRES
CONDUCTORS: COPPER, SOFT DRAWN STRANDED, AT LEAST 98% CONDUCTIVITY FOR #10 AWG AND LARGER. INSULATION SHALL BE CHEMICALLY CROSS-LINKED THERMOSETTING POLYETHYLENE RATED 600 VOLTS ON ALL RW90 CONDUCTORS AND 1000 VOLTS FOR RWU-90 FOR INCOMING SERVICE. SIZE AS INDICATED ON DRAWINGS AND SCHEDULES. CONDUCTOR INSULATION SHALL BE COLOUR CODED AS FOLLOWS:

PHASE A	-	RED
PHASE B	-	BLACK
PHASE C	-	BLUE
NEUTRAL	-	WHITE
GROUND	-	GREEN
ISOLATED POWER	-	AS INDICATED HEREAFTER

WHERE EXTRA COLORS ARE REQUIRED FOR THREE-WAY SWITCHES, ETC, THEY SHALL BE YELLOW.

APPROVED COLOR CODED TAPE IS ACCEPTABLE FOR COLOR CODING PHASE CONDUCTORS #1 AWG AND LARGER AND FOR NEUTRAL AND GROUND CONDUCTORS #40 AND LARGER.

EXECUTION

2. FIELD QUALITY CONTROL

- PERFORM TESTS IN ACCORDANCE WITH SECTION 26 05 00 - COMMON WORK RESULTS FOR ELECTRICAL.
- PERFORM TESTS USING METHOD APPROPRIATE TO SITE CONDITIONS AND TO APPROVAL OF OWNER'S REPRESENTATIVE AND LOCAL AUTHORITY HAVING JURISDICTION OVER INSTALLATION.
- PERFORM TESTS BEFORE ENERGIZING ELECTRICAL SYSTEM.

26 05 34 - CONDUITS, CONDUIT FASTENINGS, AND CONDUIT FITTINGS

PRODUCTS

- CONDUITS
 - RIGID PVC CONDUIT: TO CSA C22.2 NO. 211.2.
- CONDUIT FITTINGS
 - FITTINGS: MANUFACTURED FOR USE WITH CONDUIT SPECIFIED. COATING: SAME AS CONDUIT.
 - FACTORY "ELLS" WHERE 900, 45 O OR 22.5 O BENDS ARE REQUIRED FOR 25 MM AND LARGER CONDUITS.
 - ENSURE CONDUIT BENDS OTHER THAN FACTORY "ELLS" ARE MADE WITH AN APPROVED BENDER. MAKING OFFSETS AND OTHER BENDS BY CUTTING AND REJOINING 90 DEGREE BENDS ARE NOT PERMITTED.
- EXPANSION FITTINGS FOR RIGID CONDUIT
 - WEATHERPROOF EXPANSION FITTINGS WITH INTERNAL BONDING ASSEMBLY SUITABLE FOR 100 MM LINEAR EXPANSION.
 - WATERTIGHT EXPANSION FITTINGS WITH INTEGRAL BONDING JUMPER SUITABLE FOR LINEAR EXPANSION AND 19 MM DEFLECTION IN ALL DIRECTIONS.
 - WEATHERPROOF EXPANSION FITTINGS FOR LINEAR EXPANSION AT ENTRY TO PANEL.
- FISH CORD
 - POLYPROPYLENE

EXECUTION

- MANUFACTURERS INSTRUCTIONS
 - COMPLIANCE: COMPLY WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS OR SPECIFICATIONS, INCLUDING PRODUCT TECHNICAL BULLETINS, HANDLING, STORAGE AND INSTALLATION INSTRUCTIONS, AND DATASHEETS.
- INSTALLATION
 - INSTALL ALL CONDUIT, CONDUIT FITTINGS AND ACCESSORIES IN ACCORDANCE WITH THE LATEST EDITION OF THE CANADIAN ELECTRICAL CODE IN A MANNER THAT DOES NOT ALTER, CHANGE OR VIOLATE ANY PART OF THE INSTALLED SYSTEM COMPONENTS OR THE CSA/UL CERTIFICATION OF THESE COMPONENTS.
 - USE RIGID PVC CONDUIT UNDERGROUND AND BURIED IN OR UNDER CONCRETE SLAB ON GRADE.
- CONDUITS UNDERGROUND
 - SLOPE CONDUITS TO PROVIDE DRAINAGE.
 - WATERPROOF JOINTS (PVC EXCEPTED) WITH HEAVY COAT OF BITUMINOUS PAINT
- CLEANING
 - PROCEED IN ACCORDANCE WITH SECTION 01 74 11 - CLEANING.
 - ON COMPLETION AND VERIFICATION OF PERFORMANCE OF INSTALLATION, REMOVE SURPLUS MATERIALS, EXCESS MATERIALS RUBBISH, TOOLS AND EQUIPMENT.

26 05 43 - INSTALLATION OF CABLES IN DUCTS

EXECUTION

- CABLE INSTALLATION IN DUCTS
 - INSTALL CABLES AS INDICATED, IN DUCTS.
 - DO NOT PULL SPLICED CABLES INSIDE DUCTS.
 - INSTALL MULTIPLE CABLES IN DUCT SIMULTANEOUSLY.
 - USE CSA APPROVED LUBRICANTS OF TYPE COMPATIBLE WITH CABLE JACKET TO REDUCE PULLING TENSION.
 - TO FACILITATE MATCHING OF COLOUR CODED MULTI CONDUCTOR CONTROL CABLES REEL OFF IN SAME DIRECTION DURING INSTALLATION.
 - BEFORE PULLING CABLE INTO DUCTS AND UNTIL CABLES ARE PROPERLY TERMINATED SEAL ENDS OF NON-LEADED CABLES WITH MOISTURE SEAL TAPE.
 - AFTER INSTALLATION OF CABLES, SEAL DUCT ENDS WITH DUCT SEALING COMPOUND.
- TESTING
 - PERFORM TESTS IN ACCORDANCE WITH SECTION 26.
 - PERFORM TESTS USING QUALIFIED PERSONNEL. PROVIDE NECESSARY INSTRUMENTS AND EQUIPMENT.

- CHECK PHASE ROTATION AND IDENTIFY EACH PHASE CONDUCTOR OF EACH FEEDER.
- CHECK EACH FEEDER FOR CONTINUITY, SHORT CIRCUITS AND GROUNDS. ENSURE RESISTANCE TO GROUND OF CIRCUITS IS NOT LESS THAN 50 MEGOHMS.
- PRE-ACCEPTANCE TESTS.
 - AFTER INSTALLING CABLE BUT BEFORE SPLICING AND TERMINATING, PERFORM INSULATION RESISTANCE TEST WITH 600 V MEGGER ON EACH PHASE CONDUCTOR.
 - CHECK INSULATION RESISTANCE AFTER EACH SPLICE AND/OR TERMINATION TO ENSURE THAT CABLE SYSTEM IS READY FOR ACCEPTANCE TESTING.
- ACCEPTANCE TESTS
 - ENSURE THAT TERMINATIONS AND ACCESSORY EQUIPMENT ARE DISCONNECTED.
 - GROUND SHIELDS, GROUND WIRES, METALLIC ARMOUR AND CONDUCTORS NOT UNDER TEST.
 - PROVIDE ARCHITECT AND/OR ENGINEER WITH LIST OF TEST RESULTS SHOWING LOCATION AT WHICH EACH TEST WAS MADE, CIRCUIT TESTED AND RESULT OF EACH TEST.
 - REMOVE AND REPLACE ENTIRE LENGTH OF CABLE IF CABLE FAILS TO MEET ANY OF THE TEST CRITERIA.
 - FAILURE TO PROVIDE TEST RESULTS WILL DELAY PROGRESS BILLING.

26 05 44 - DIRECT BURIED UNDERGROUND CABLES

PRODUCTS

- PVC DUCTS
 - RIGID PVC CONDUITS: SIZE AS INDICATED, NOMINAL LENGTH OF 3 METRES.
 - RIGID PVC COUPLINGS, REDUCERS, BELL END FITTINGS, PLUGS, CAPS, ADAPTORS AS REQUIRED TO MAKE COMPLETE INSTALLATION.
 - RIGID PVC 90 AND 45 BENDS AS REQUIRED.
 - RIGID PVC 5 ANGLE COUPLINGS AS REQUIRED.
 - EXPANSION JOINTS AS REQUIRED.
- SOLVENT
 - SOLVENT WELD COMPOUND FOR PVC DUCT JOINTS
- CABLE PULLING EQUIPMENT
 - 6.5mm STRANDED NYLON PULL ROPE TENSILE 5kN.
- MARKING TAPE
 - 150mm WIDE, RED, POLYETHYLENE MARKED "BURIED ELECTRIC LINE"
 - STANDARD OF ACCEPTANCE: THOMAS AND BETTS NA TYPE.
- MANUFACTURERS
 - STANDARD OF ACCEPTANCE: SCEPTER
 - OTHER APPROVED MANUFACTURER: CANON

EXECUTION

- INSTALLATION
 - INSTALL PVC DUCT AS INDICATED AND IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
 - EXCAVATION, TUNNELING, AND BACKFILLING TO THE REQUIREMENTS OF SECTION 02223.
 - CLEAN INSIDE OF DUCTS BEFORE LAYING.
 - ENSURE FULL, EVEN SUPPORT EVERY 1500MM THROUGHOUT DUCT LENGTH.
 - SLOPE DUCTS AWAY FROM BUILDING AND POLE WITH 1 TO 400 MINIMUM SLOPE. PUNCH A SMALL HOLE IN BOTTOM OF DUCTS AT LOW POINT.
 - PROVIDE SLEEVE FOR DUCTS PASSING THROUGH FOOTINGS.
 - DURING CONSTRUCTION, CAP ENDS OF DUCTS TO PREVENT ENTRANCE OF FOREIGN MATERIALS.
 - PULL THROUGH EACH DUCT A STEEL MANDREL NOT LESS THAN 300MM LONG AND OF A DIAMETER 65MM LESS THAN INTERNAL DIAMETER OF DUCT, FOLLOWED BY STIFF BRISTLE BRUSH TO REMOVE SAND, EARTH AND OTHER FOREIGN MATTER. PULL STIFF BRISTLE BRUSH THROUGH EACH DUCT IMMEDIATELY BEFORE PULLING-IN CABLES.
 - IN EACH DUCT INSTALL PULL ROPE CONTINUOUS THROUGHOUT EACH DUCT RUN WITH 3 METRES OF SPARE ROPE AT EACH END.
 - INSTALL MARKING TAPE 150MM BELOW FINISHED GRADE ALONG THE COMPLETE LENGTH OF BURIED DUCT AS INDICATED.



DEVELOPER

ENGINEER

**HARLAND
ENGINEERING
SERVICES INC.**
ENGINEERS • PROJECT MANAGERS

P.O. Box 1653
Charlottetown, PE
C1A 7N4
Tel: 902.395.3365
Fax: 902.626.3412

Project Name:

**DORY VIEW AT WATERS EDGE
SUMMERSIDE, PE**

Drawing Title:

ELECTRICAL SITE PLAN

Date	MAY 22, 2019	E-201
Scale	AS NOTED	
Drawn	SCW	
Engineer	CM	
Project No	2019.023	
		Sheet Rev No. 0

From: [Gary McInnis](#)

Sent: April 9, 2024 10:04:00 AM

To: [Cindy Bedwell](#); [Tony Gallant](#); [Mike Straw](#); [Thayne Jenkins](#); [Municipal Services Building Permits](#)

Cc: [Aaron MacDonald](#)

Subject: RE: Rezoning Application - 185 Pope Road

Sensitivity: Normal

A site drainage plan would be needed.

An access culvert will be needed for mill crescent. At the developers cost.

There is curb and gutter on Pope Road which will need Access changes. Developers cost

An allowance for the new active transportation along Pope road behind the existing curb will also need to be accommodated.

Driving lane width to be 7 m width. To allow for service vehicles and garbage pickup.

The access is a private drive and will need one way and do not enter signage at the appropriate ends. Lane way to be marked private drive.

From: Cindy Bedwell

Sent: Monday, April 8, 2024 2:59 PM

To: Tony Gallant ; Gary McInnis ; Mike Straw ; Thayne Jenkins ; Municipal Services Building Permits

Cc: Aaron MacDonald

Subject: Rezoning Application - 185 Pope Road

Rec'd an application for rezoning at 185 Pope Road (PID 548610). It was suggested to send out the plans for comment gathering at this point. The application/plans have been entered into the system.

Please see attached.

Cindy

From: [Thayne Jenkins](#)
Sent: April 9, 2024 10:40:12 AM
To: [Mike Straw](#)
Cc: [Aaron MacDonald](#); [Cindy Bedwell](#); [Tony Gallant](#); [Gary McInnis](#)
Subject: Re: Rezoning Application - 185 Pope Road
Sensitivity: Normal

Thanks Mike for your excellent Code analysis. Considering zoning, our R3r zone or narrow lot residential zone requires a minimum 1.5m SY setback from a property line. In other words, it is 3m (9.8ft) wall-to-wall between homes. This Pope Road proposal it is 2.4m (7.8ft) between homes wall-to-wall or 2ft less than our current narrow lot R3r zone. **We don't have residential zone development standards to accommodate this development, even the R5 mobile home park standards don't work.** CDA is the only option, if applicable.

Thayne Jenkins
Planning Officer
City of Summerside
275 Fitzroy Street
Summerside, PE C1N 1H9
Direct Line: 902-432-1260
Facsimile: 902-436-3191
E-mail: Thayne.Jenkins@city.summerside.pe.ca
Website: www.summerside.ca

This e-mail is directed in confidence solely to the persons to whom it is addressed and may not otherwise be distributed, copied or disclosed. If you have received this e-mail in error, please reply to the sender advising of the error and destroy the original message, without making a copy. Thank you.

From: Mike Straw
Sent: Tuesday, April 9, 2024 8:33 AM
To: Thayne Jenkins
Cc: Aaron MacDonald ; Cindy Bedwell ; Tony Gallant ; Gary McInnis
Subject: RE: Rezoning Application - 185 Pope Road

Thayne,
I realize the info provided is for a rezoning application but there are some errors noted in regards to the building. Drawing S102 Note 4: *"Homes are separated 2.4 meters in accordance to Section 3.2.3.1 of NBC 2015 to meet minimum fire separation. This code requires no more than 0.35m² window area on exposed walls."*
This information is incorrect. The reference section is 9.10.15.4 of the 2020 edition of the NBC. The limiting distance is taken from a centerline between the two dwellings, so at 2.4m the limiting distance is 1.2m. Based on the exposed wall size of 23.8m², Table 9.10.15.4 shows a maximum allowed glazing area (inc rough openings) of 7% which would be a maximum glazing area of 1.66m² as opposed to the 0.35m² stated.
Per 9.10.15.5.(11) the roof soffits will be required to have no openings and be protected per the method noted in the article, the plans for building permit will need to state how roof ventilation will be provided without using the soffits. The width of the lane for fire trucks is outside the NBC in this case but usually the requirement is 6m.

Mike Straw C. Tech
Building Officer
City of Summerside
Technical Services Department
275 Fitzroy Street
Summerside PE C1N 1H9
(902) 439-2991

From: Thayne Jenkins
Sent: Monday, April 8, 2024 3:22 PM
To: Cindy Bedwell ; Tony Gallant ; Gary McInnis ; Mike Straw ; Municipal Services Building Permits
Cc: Aaron MacDonald
Subject: Re: Rezoning Application - 185 Pope Road

I asked Cindy to bump out in case there are any big showstoppers, For example, front and rear yard setbacks are 5ft. There is no residential zone currently that allows a 5 ft front or rear yard setback. The only zone that may accommodate special development standards on a case-by-case basis is the Comprehensive Development Area CDA zone. The proposal requires official plan and zoning amendments from Industrial to CDA. There may be other issues such as parking on a one-way private road, width of road for fire trucks, etc.

Thayne Jenkins

Planning Officer

City of Summerside

275 Fitzroy Street

Summerside, PE C1N 1H9

Direct Line: 902-432-1260

Facsimile: 902-436-3191

E-mail: Thayne.Jenkins@city.summerside.pe.ca

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From: Cindy Bedwell <cindy.bedwell@city.summerside.pe.ca>

Sent: Monday, April 8, 2024 2:58 PM

To: Tony Gallant <Tony.Gallant@city.summerside.pe.ca>; Gary McInnis <gary.mcinnis@city.summerside.pe.ca>; Mike Straw <mike.straw@city.summerside.pe.ca>; Thayne Jenkins <Thayne.Jenkins@city.summerside.pe.ca>; Municipal Services Building Permits <MSBuildingPermits@city.summerside.pe.ca>

Cc: Aaron MacDonald <aaron.macdonald@city.summerside.pe.ca>

Subject: Rezoning Application - 185 Pope Road

Rec'd an application for rezoning at 185 Pope Road (PID 548610). It was suggested to send out the plans for comment gathering at this point. The application/plans have been entered into the system.

Please see attached.

Cindy

From: [Tony Gallant](#)
Sent: April 9, 2024 10:57:43 AM
To: [Thayne Jenkins](#); [Cindy Bedwell](#); [Gary McInnis](#); [Mike Straw](#); [Municipal Services Building Permits](#)
Cc: [Aaron MacDonald](#)
Subject: RE: Rezoning Application - 185 Pope Road
Sensitivity: Normal

The water main is to be looped between Pope Road and Mill Crescent. The City will take ownership of this once the system is in place to the city standards and has passed all required testing.

The sewer system for this developments first option is to drain to Pope Road as there is no sewer main fronting the property on Mill Crescent. The Developer will have to ensure there is sufficient grade for this to service all structures. Pope Road sewer invert 24.48, Mill Crescent ground elevation 25.

If the sewer main on Mill Crescent needs to be extended to facilitate this development (second option), it would be at the developers cost.

From: Thayne Jenkins
Sent: Monday, April 8, 2024 3:22 PM
To: Cindy Bedwell ; Tony Gallant ; Gary McInnis ; Mike Straw ; Municipal Services Building Permits
Cc: Aaron MacDonald
Subject: Re: Rezoning Application - 185 Pope Road

I asked Cindy to bump out in case there are any big showstoppers, For example, front and rear yard setbacks are 5ft. There is no residential zone currently that allows a 5 ft front or rear yard setback. The only zone that may accommodate special development standards on a case-by-case basis is the Comprehensive Development Area CDA zone. The proposal requires official plan and zoning amendments from Industrial to CDA. There may be other issues such as parking on a one-way private road, width of road for fire trucks, etc.

Thayne Jenkins
Planning Officer

City of Summerside
275 Fitzroy Street
Summerside, PE C1N 1H9

Direct Line: 902-432-1260
Facsimile: 902-436-3191
E-mail: Thayne.Jenkins@city.summerside.pe.ca
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From: Cindy Bedwell <cindy.bedwell@city.summerside.pe.ca>
Sent: Monday, April 8, 2024 2:58 PM
To: Tony Gallant <Tony.Gallant@city.summerside.pe.ca>; Gary McInnis <gary.mcinnis@city.summerside.pe.ca>; Mike Straw <mike.straw@city.summerside.pe.ca>; Thayne Jenkins <Thayne.Jenkins@city.summerside.pe.ca>; Municipal Services Building Permits <MSBuildingPermits@city.summerside.pe.ca>
Cc: Aaron MacDonald <aaron.macdonald@city.summerside.pe.ca>
Subject: Rezoning Application - 185 Pope Road

Rec'd an application for rezoning at 185 Pope Road (PID 548610). It was suggested to send out the plans for comment gathering at this point. The application/plans have been entered into the system.

Please see attached.

Cindy

From: [Cindy Bedwell](#)

Sent: April 9, 2024 11:49:19 AM

To: [Thayne Jenkins](#); [Mike Straw](#); [Tony Gallant](#); [Gary McInnis](#); [Linda Stevenson](#); [Municipal Services Building Permits](#)

Cc: [Aaron MacDonald](#)

Subject: 185 Pope Road - Combined Review Comments

Sensitivity: Normal

Attachments:

[19023-Doreyview at Waters Edge Summerside-Issued for Review.pdf](#);

RE: 185 Pope Road Development Review of Preliminary Plans

Please see below for the combined review for the proposed "Senior Development".

Water/Sewer:

The water main is to be looped between Pope Road and Mill Crescent. The City will take ownership of this once the system is in place to the city standards and has passed all required testing.

The sewer system for this developments first option is to drain to Pope Road as there is no sewer main fronting the property on Mill Crescent. The Developer will have to ensure there is sufficient grade for this to service all structures. Pope Road sewer invert 24.48, Mill Crescent ground elevation 25.

If the sewer main on Mill Crescent needs to be extended to facilitate this development (second option), it would be at the developers cost.

Site Drainage/Access:

A site drainage plan would be needed.

An access culvert will be needed for mill crescent. At the developers cost.

There is curb and gutter on Pope Road which will need Access changes. Developers cost

An allowance for the new active transportation along Pope road behind the existing curb will also need to be accommodated.

Driving lane width to be 7 m width. To allow for service vehicles and garbage pickup.

The access is a private drive and will need one way and do not enter signage at the appropriate ends. Lane way to be marked private drive.

For Electric Utility:

- Zoning change is fine for electrical if developer can allocate space for needed infrastructure, Utility power is available for a development in this location from either Pope Rd or Mill Crescent.
- As the space from road to building is only 5ft this is not enough space for utility poles and overhead powerlines. Developer will be required to design and construct underground power network of high/low voltage cable (and telecoms). See recently constructed Dory View subdivision as example (attached). This will need to be design coordinated with utility water/sewer/storm and other infrastructure needs. Buildings may need to push further back from street, or larger gaps between some buildings to make space for all the needed equipment. Developer and their designer should book a meeting with Summerside Electric to discuss more detailed electrical plans if/when proceeding.

Something not in my electrical realm but Greg has been noting in conversation lately, what is the garbage collection plan for something this dense with street parking 100% lining both sides? Will Island Waste even consider this on their route?

Building:

I realize the info provided is for a rezoning application but there are some errors noted in regards to the building. Drawing S102 Note 4: *"Homes are separated 2.4 meters in accordance to Section 3.2.3.1 of NBC 2015 to meet minimum fire separation. This code requires no more than 0.35m² window area on exposed walls."*

This information is incorrect. The reference section is 9.10.15.4 of the 2020 edition of the NBC. The limiting distance is taken from a centerline between the two dwellings, so at 2.4m the limiting distance is 1.2m. Based on the exposed wall size of 23.8m², Table 9.10.15.4 shows a maximum allowed glazing area (inc rough openings) of 7% which would be a maximum glazing area of 1.66m² as opposed to the 0.35m² stated.

Per 9.10.15.5.(11) the roof soffits will be required to have no openings and be protected per the method noted in the article, the plans for building permit will need to state how roof ventilation will be provided without using the soffits. The width of the lane for fire trucks is outside the NBC in this case but usually the requirement is 6m.

Response to the Building Code Analysis – Planning Officer: Considering zoning, our R3r zone or narrow lot residential zone requires a minimum 1.5m SY setback from a property line. In other words, it is 3m (9.8ft) wall-to-wall between homes. This Pope Road proposal it is 2.4m (7.8ft) between homes wall-to-wall or 2ft less than our current narrow lot R3r zone. **We don't have residential zone development standards to accommodate this development, even the R5 mobile home park standards don't work.** CDA is the only option, if applicable.

Regards,

Cindy

Cindy Bedwell

Administrative Assistant, Technical Services

City of Summerside

275 Fitzroy Street

Summerside, PE C1N 1H9

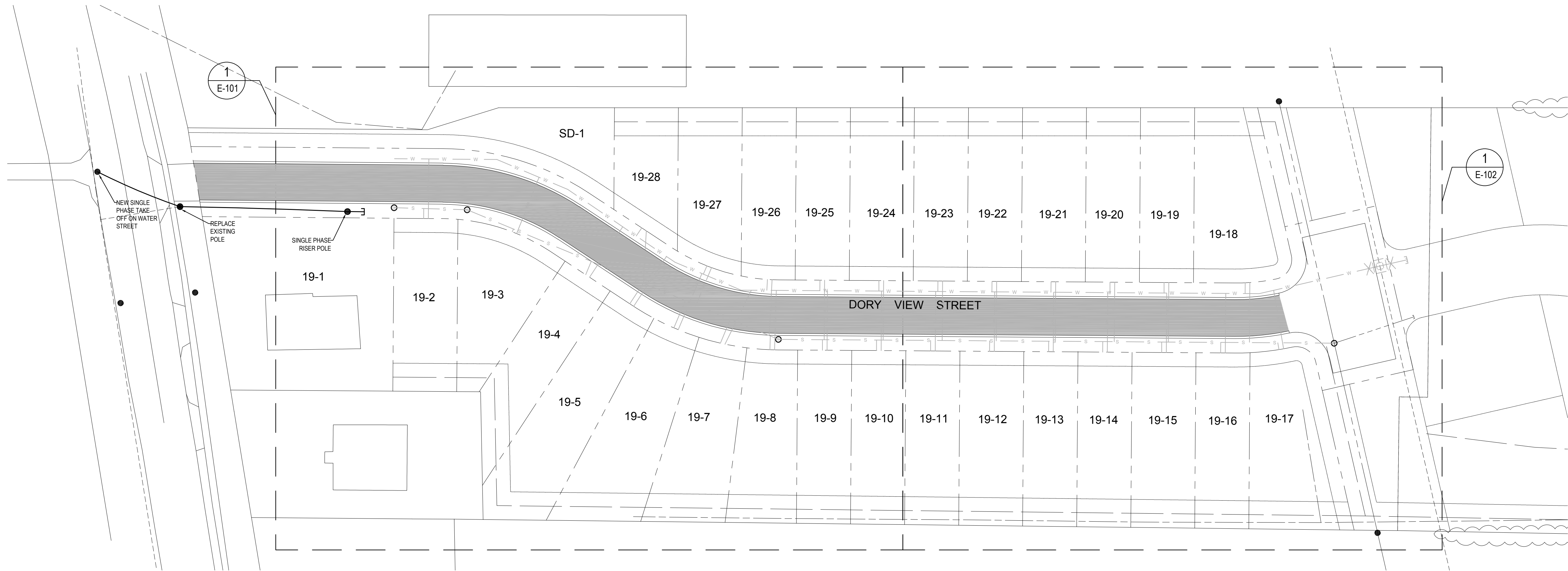
Direct Line: 902.432.1262

Facsimile: 902.436.3191

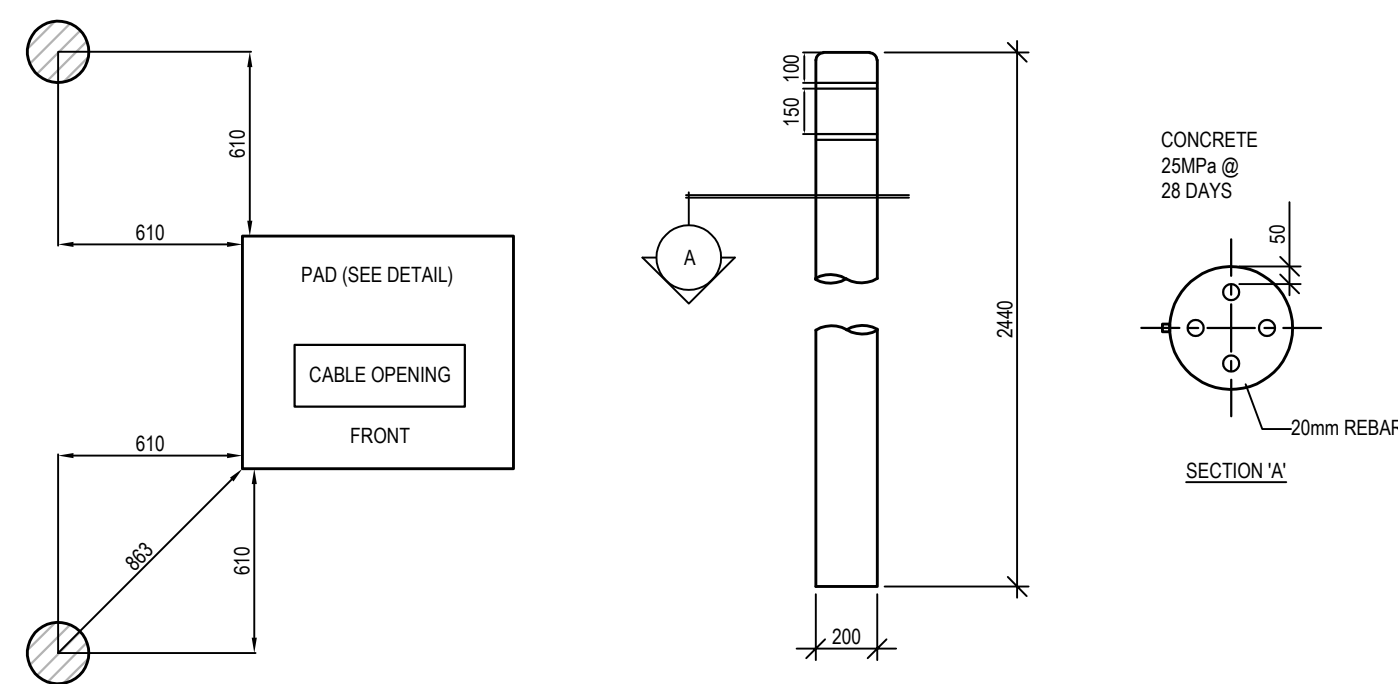
E-mail: cindy@summerside.ca

Website: www.summerside.ca

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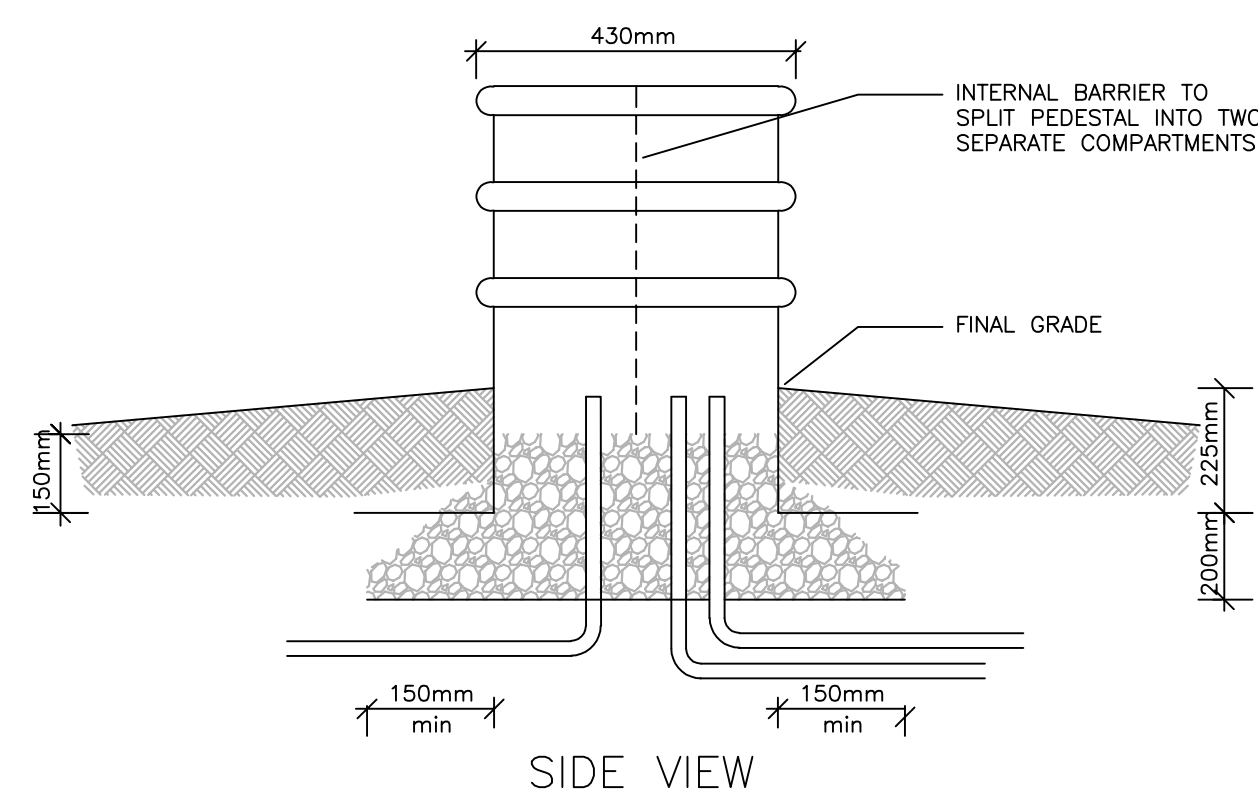
1 KEY PLAN
E-001 SCALE: 1:500



NOTES:

1. BOLLARDS ARE NOT REQUIRED AS LONG AS TRANSFORMER PADS ARE MORE THAN 3 METERS FROM THE EDGE OF THE ROAD.

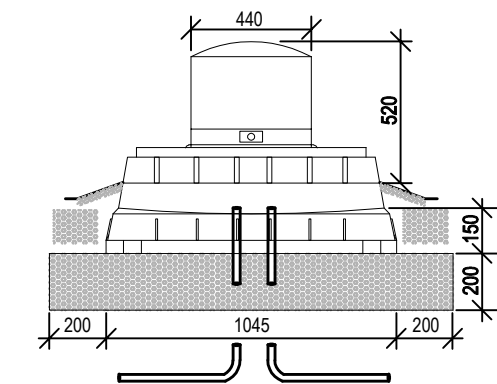
2 PAD MOUNT TRANSFORMER – BOLLARDS
E-001 SCALE: N.T.S.



NOTES:

1. COMMUNICATION PEDESTAL (CP) TO BE TYPICALLY PENCELL #AGLPNS-183218-HP2-TEL OR EQUAL BY DIV. 16.
2. FINAL GRADE TO BE SLOPED FOR GOOD DRAINAGE.
3. PEDESTAL TO SIT ON 8" LAYER OF GRAVEL BASE WITH 6" PROTRUDING FROM ALL SIDES. GRAVEL BY THIS CONTRACTOR.
5. ALL CONDUIT AND/OR CONDUCTOR TO BE PROPERLY MARKED.
6. IDENTIFY INCOMING AND OUTGOING CONDUITS. IDENTIFY SERVICE TO LOT WITH "C.A." OR "LOT".
7. CONDUIT TO BE BURIED PER ELECTRICAL CODE.

3 COMMUNICATION PEDESTAL DETAIL
E-001 SCALE: NTS



NOTES:

1. FINAL GRADE TO BE SLOPED AWAY FROM PEDESTAL FOR PROPER DRAINAGE.
2. PEDESTAL INSTALLED AT BASE OF POLE OR:
A) PAD MOUNT EQUIPMENT MUST MAINTAIN MINIMUM 1000mm FROM POLE AND MUST BE ON PRIVATE PROPERTY.
B) PEDESTAL INSTALLED ON EASEMENT WITHOUT POLE MUST MAINTAIN A MINIMUM 1000mm FROM LOT LINE FACING ROAD OR RIGHT OF WAY.
3. PEDESTAL TO SIT ON 200mm LAYER OF COMPACTED GRAVEL BASE 150mm OF GRAVEL TO PROTRUDE AROUND ENTIRE PERIMETER OF PEDESTAL.
4. BACKFILL MUST BE COMPACTED FROM BOTTOM OF TRENCH HOUSING CONDUIT TO GRAVEL BASE.
5. MATERIAL USED TO HOLD PEDESTAL IN PLACE AND GRADE AWAY TO BE TOPSOIL.
6. ALL CONDUIT SUBJECT TO CRUSHING DUE TO COMPACTION ARE TO BE P.V.C. INDICATING INCOMING AND OUTGOING LINES. PLEASE IDENTIFY WITH CIVIC #.
7. ALL 90°s IN SECONDARY BUS SYSTEM ARE TO BE P.V.C. (POLE - PEDESTAL AND/OR TRANSFORMER).
8. ALL CONDUIT TO BE PROPERLY IDENTIFIED WITH WATERPROOF TAGS INDICATING INCOMING AND OUTGOING LINES. PLEASE IDENTIFY WITH CIVIC #.
9. ORDER FOR COMPLETE UNITS - PEDESTAL WITH H.D. POLYETHYLENE BASE AG-30HD.
10. MINIMUM CONDUCTOR SIZE FEEDING A SECONDARY TAP BOX IS 3/0 COPPER, WHEN MORE THAN TWO ARE TO BE FED OFF THE BOX, LARGER CONDUCTOR MAY BE REQUIRED. MEG. IS TO BE CONTACTED FOR CONDUCTOR.

4 SECONDARY ABOVE GRADE PEDESTAL
E-001 SCALE: NTS



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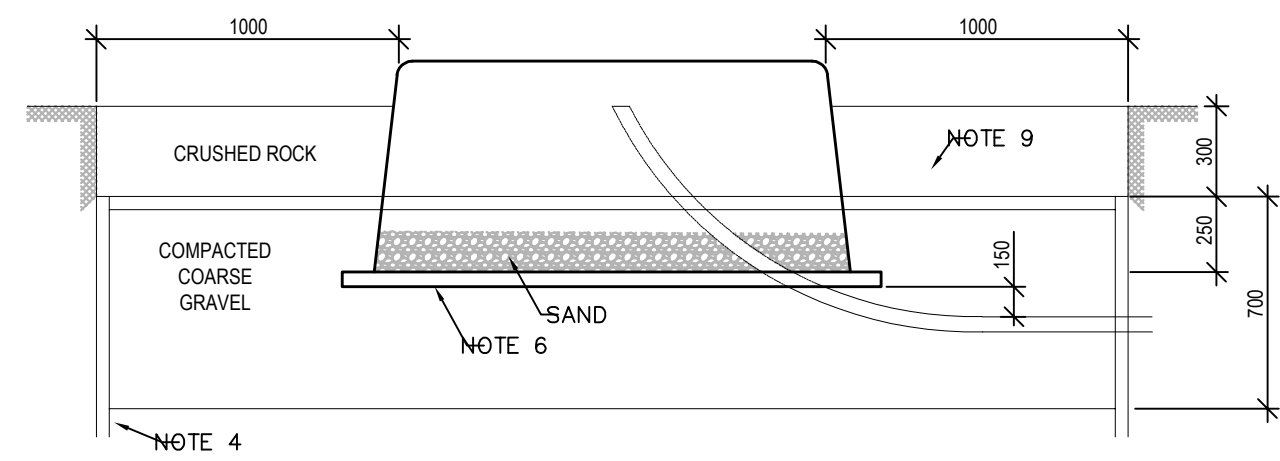
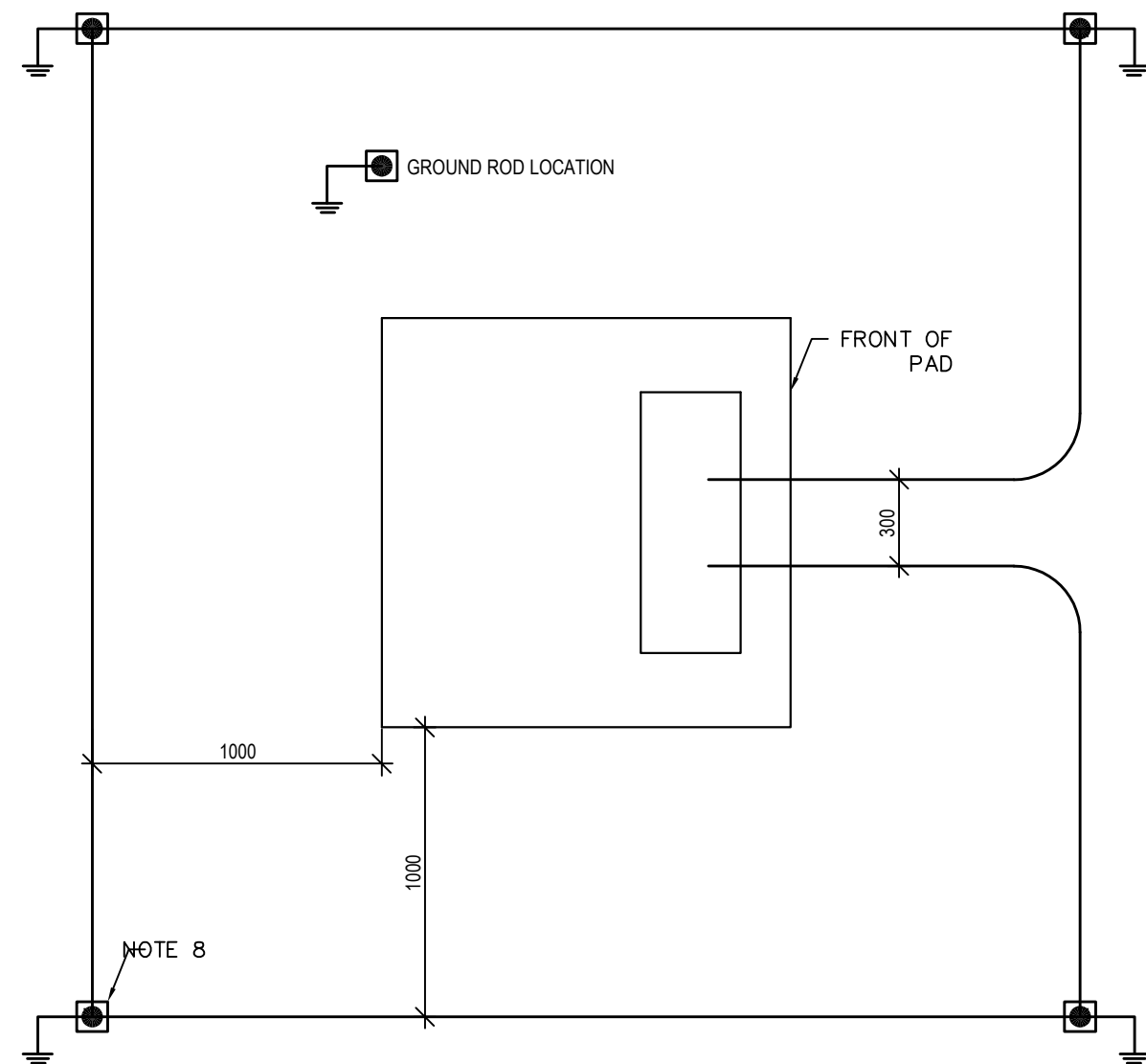
Project Name:

**DORY VIEW AT WATERS EDGE
SUMMERSIDE, PE**

Drawing Title:

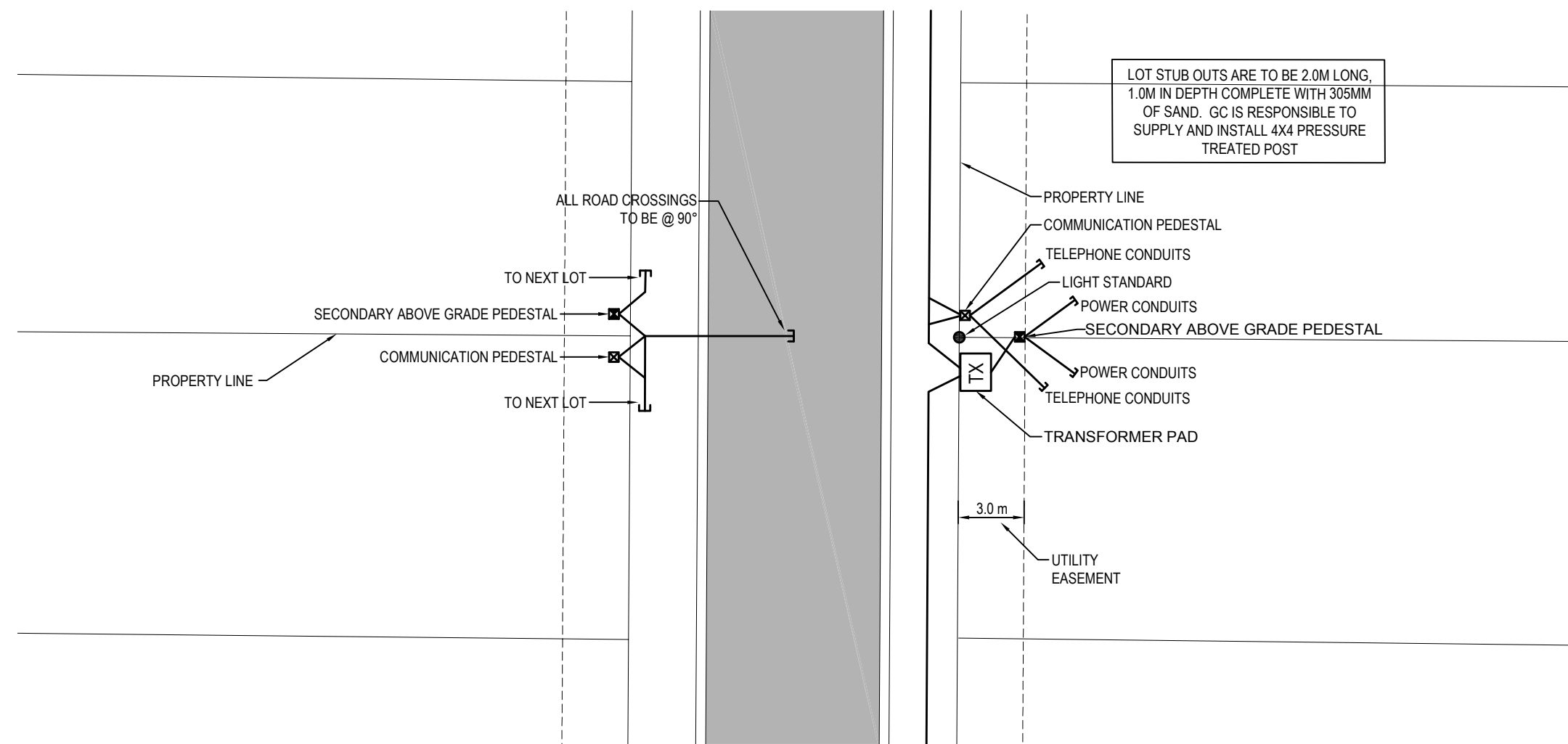
ELECTRICAL KEY PLAN & DETAILS

Date	MAY 22, 2019	Sheet
Scale	AS NOTED	E-001
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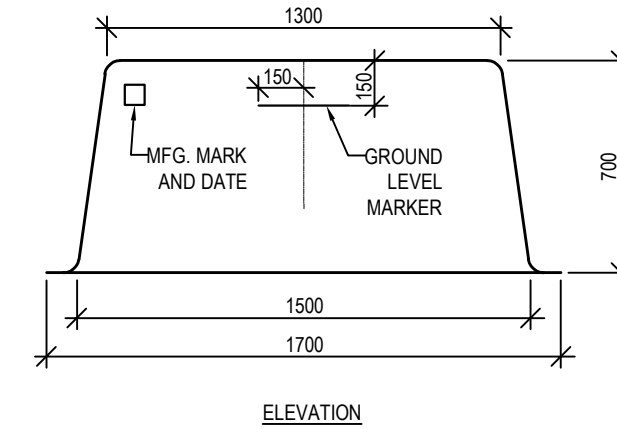
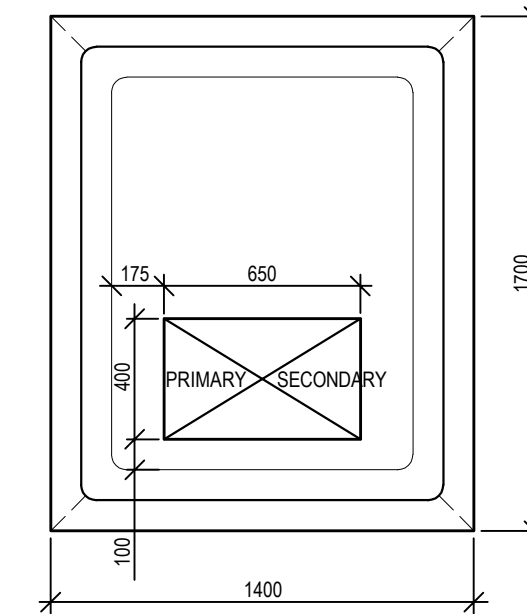


- NOTES:
1. FRONT OF PAD TO BE AT LEAST 3m AWAY FROM BUILDINGS OR OTHER OBJECTS TO PERMIT OPERATIONAL ACCESS.
 2. EXCAVATE AN AREA EQUAL TO THE SIZE OF THE PAD PLUS 1m ON ALL SIDES BY 900mm DEEP AND DISPOSE OF THE BACKFILL.
 3. INSTALL ALL DUCTS AS SPECIFIED BY SUMMERSIDE ELECTRIC AND ENSURE THEY ARE FISHED, CAPPED AND IDENTIFIED AS TO WHERE THEY TERMINATE.
 4. INSTALL FOUR 3/4" X 3m GROUND RODS AS PER DRAWING.
 5. BACKFILL THE EXCAVATION WITH 300mm OF COARSE GRAVEL WITH 150mm OF SAND AROUND THE DUCTS.
 6. INSTALL 2"X10" PRESSURE TREATED PLANKS UNDER ALL FOUR EDGES OF THE FIBERGLASS PAD AND INSTALL PAD.
 7. BACKFILL THE EXCAVATION TO WITHIN 300mm OF FINAL GRADE WITH COARSE GRAVEL.
 8. INSTALL A LOOP OF 20 BARE COPPER AS SHOWN, CONNECTED TO THE FOUR GROUND RODS WITH THE GROUND ROD CLAMPS (REFERENCE SUMMERSIDE ELECTRIC SON 7212303Q). U-BOLT GROUND CLAMPS OR OTHER CONNECTORS APPROVED BY THE MANUFACTURER FOR THIS APPLICATION.
 9. BACKFILL THE EXCAVATION TO FINAL GRADE WITH CRUSHED ROCK 3/4" TO 1" GRADE.
 10. IF SPECIFIED BY SUMMERSIDE ELECTRIC, PROTECTION FROM VEHICLES SHALL BE INSTALLED AS PER ED9U-60.
 11. INSTALL 150mm OF SAND INSIDE THE PAD AS A CABLE BED.
 12. REFER TO SECTION 30 FOR CLEARANCES.

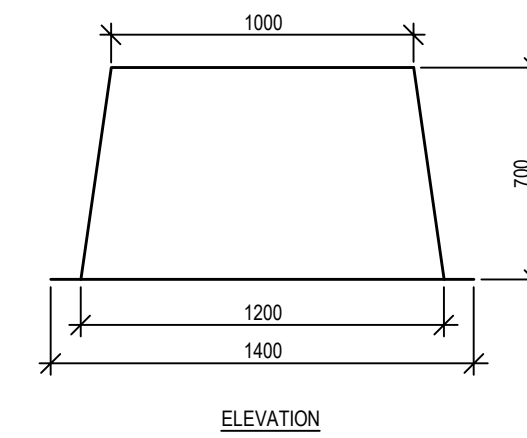
1 FIBERGLASS PAD FOR PADMOUNTED EQUIPMENT INSTALLATION DETAILS
E-002 SCALE: NTS



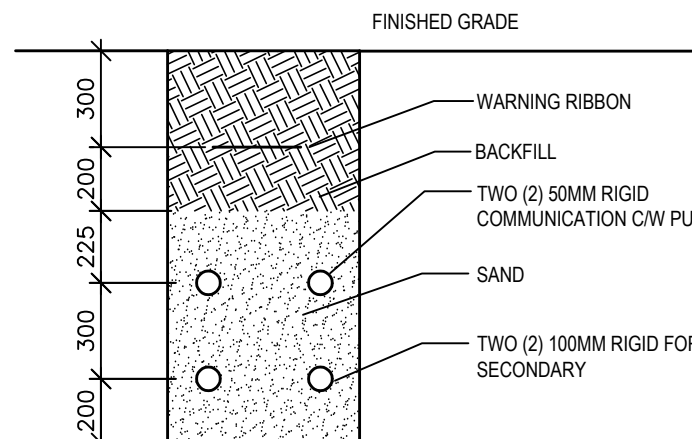
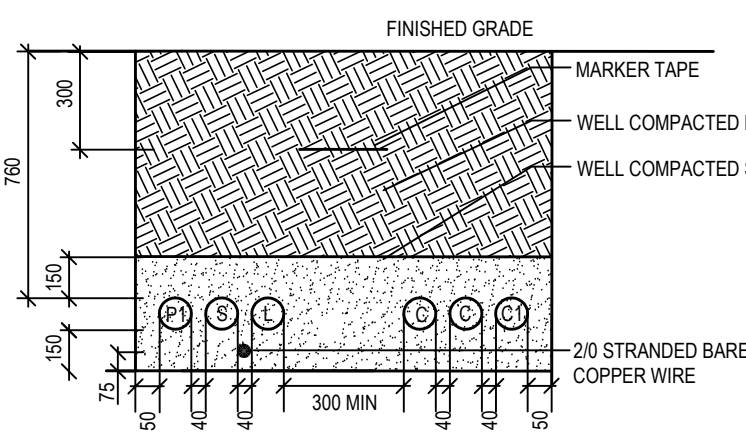
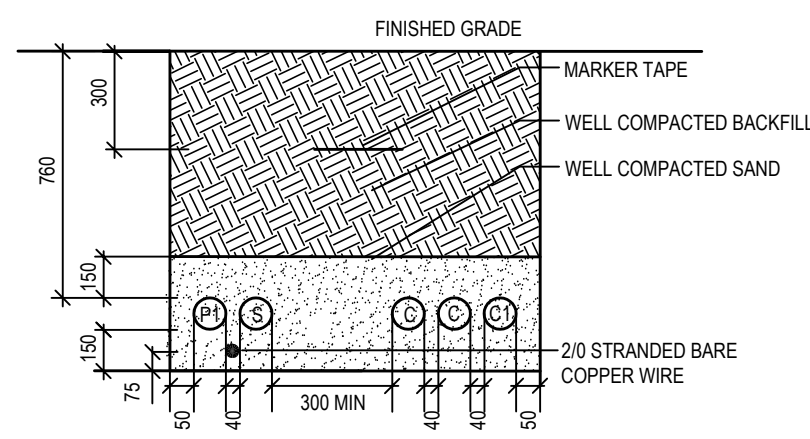
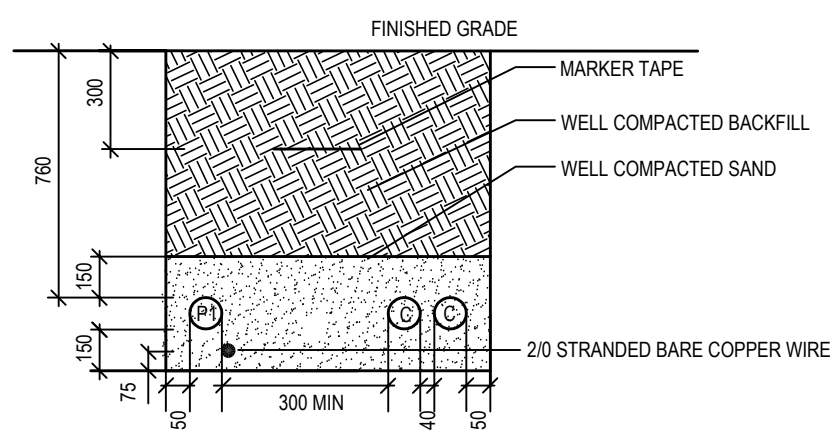
3 TYPICAL POWER AND COMMUNICATION PEDESTAL LAYOUT, EASEMENT AND ROAD CROSSING DETAIL
E-002 SCALE: NTS



- NOTES:
1. FIBERGLASS PAD SHALL BE CONSTRUCTED WITH SUFFICIENT REINFORCING IN THE WALL AND TOP TO BE CAPABLE OF ACCOMMODATING A 4500kg DIRECT VERTICAL LOAD.
 2. TOP SHALL HAVE A SMOOTH, TRUE SURFACE. MAXIMUM DEFLECTION UNDER 1500kg LOAD SHALL BE 2mm.
 3. MINIMUM FIBERGLASS THICKNESS SHALL BE 7mm. MINIMUM MASS 48kg.
 4. EXTERIOR FINISH SHALL BE GELCO COATED GREEN WITH ULTRA-VIOLET CONTROL 4mm THICK.
 5. ANY WOOD USED FOR FABRICATION SHALL BE THOROUGHLY ENCASED IN FIBERGLASS.
 6. GROUND LEVEL MARKER SHALL BE 25mm WIDE, SUPER ADHESIVE MYLAR TAPE. MINIMUM 300mm LG.
 7. APPROVAL OF PAD WILL BE SUBJECT TO TESTING BY SUMMERSIDE ELECTRIC STANDARDS DEPARTMENT.
 8. ALL DIMENSIONS SHOWN ARE MILLIMETERS.
 9. THE INSTALLATION SHALL MEET THE LOCATION REQUIREMENTS OF CANADIAN ELECTRICAL CODE RULE 26-242.

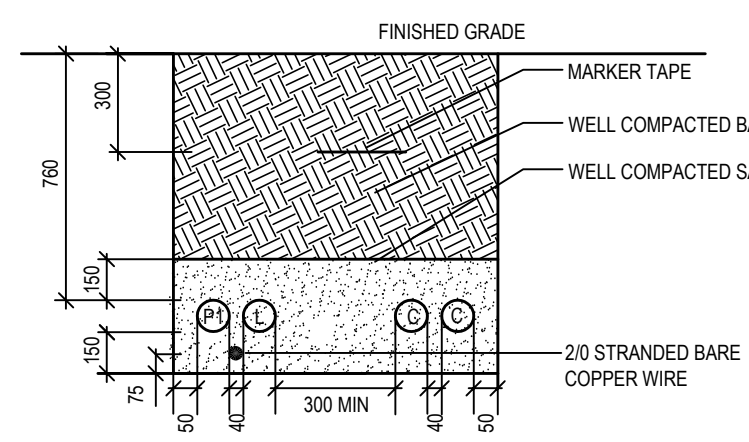
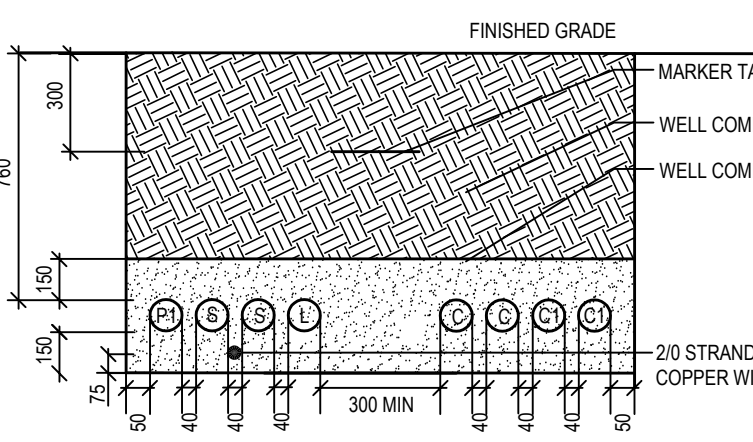
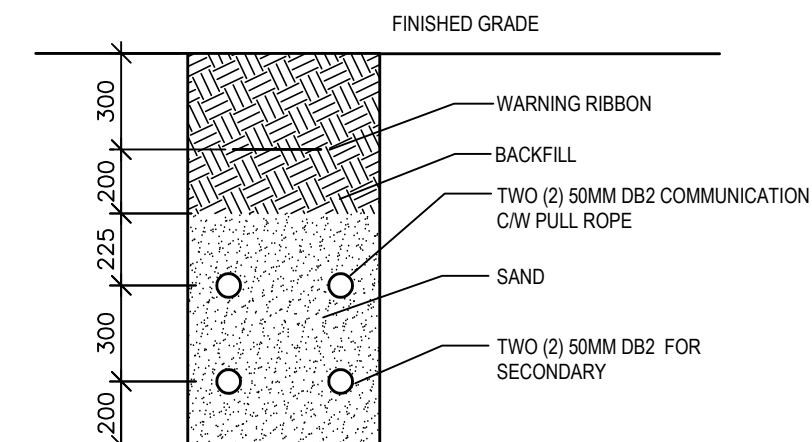
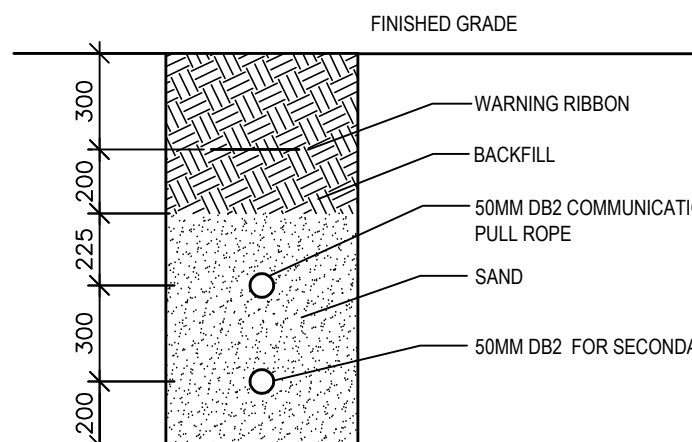


5 FIBERGLASS PAD FOR SINGLE PHASE TRANSFORMERS
E-002 SCALE: NTS



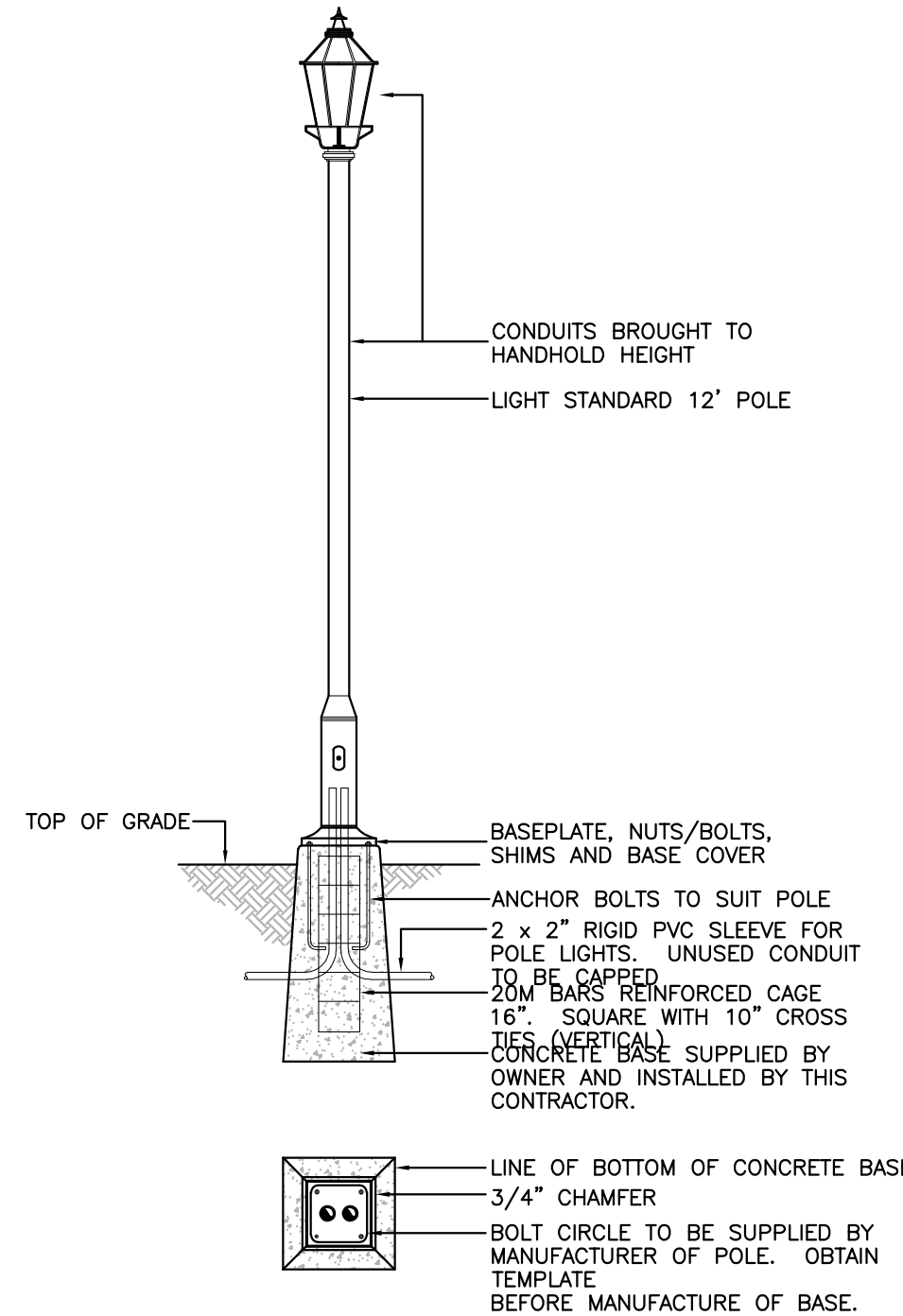
- P1 = 4" RIGID PVC CONDUIT FOR PRIMARY
S = 2" DB2 DUCT TO LOT (POWER)
C = 4" DB2 FOR COMMUNICATIONS
C1 = 2" DB2 DUCT TO LOT (COMMUNICATION)
L = 1" RIGID PVC TO LIGHT

- NOTES:
1. A MINIMUM OF 150mm (6") OF WELL COMPACTED SAND WILL BE INSTALLED ABOVE AND BENEATH CONDUITS OR PRE-DUCTED CABLE.
 2. 50mm (2") OF SAND BETWEEN CONDUITS AND TRENCH WALLS. A MINIMUM OF 300mm (12") SHALL BE KEPT BETWEEN SUMMERSIDE ELECTRIC AND COMMUNICATIONS.
 3. RED MARKER TAPE TO BE INSTALLED 300mm (1ft) BELOW FINAL GRADE.
 4. A FISH LINE OF 3/4" NYLON ROPE OR EQUIVALENT SHALL BE INSTALLED IN EACH CONDUIT AND ROPE SECURED.
 5. A MINIMUM OF 50mm (2in) OF WELL COMPACTED BACKFILL WILL BE PLACED OVER THE SAND TO PROVIDE MINIMUM COVER OF 750mm (2'-6").
 6. TRENCH INDICATES TWO DUCTS FOR COMMUNICATION CABLE. FOR SPEED-TO-REQUIREMENT, CONTACT ALIANT AND/OR CATV.
 7. THE NUMBER AND SIZE OF DUCTS MAY VARY. THE MINIMUM CLEARANCES SHOULD BE MAINTAINED.
 8. DUCTS SHALL BE PERMANENTLY IDENTIFIED AT BOTH ENDS IN A METHOD SATISFACTORY TO SUMMERSIDE ELECTRIC.



4 TRENCH DETAILS
E-002 SCALE: NTS

6 LIGHT STANDARD DETAIL (TYP)
E-002 SCALE: NTS



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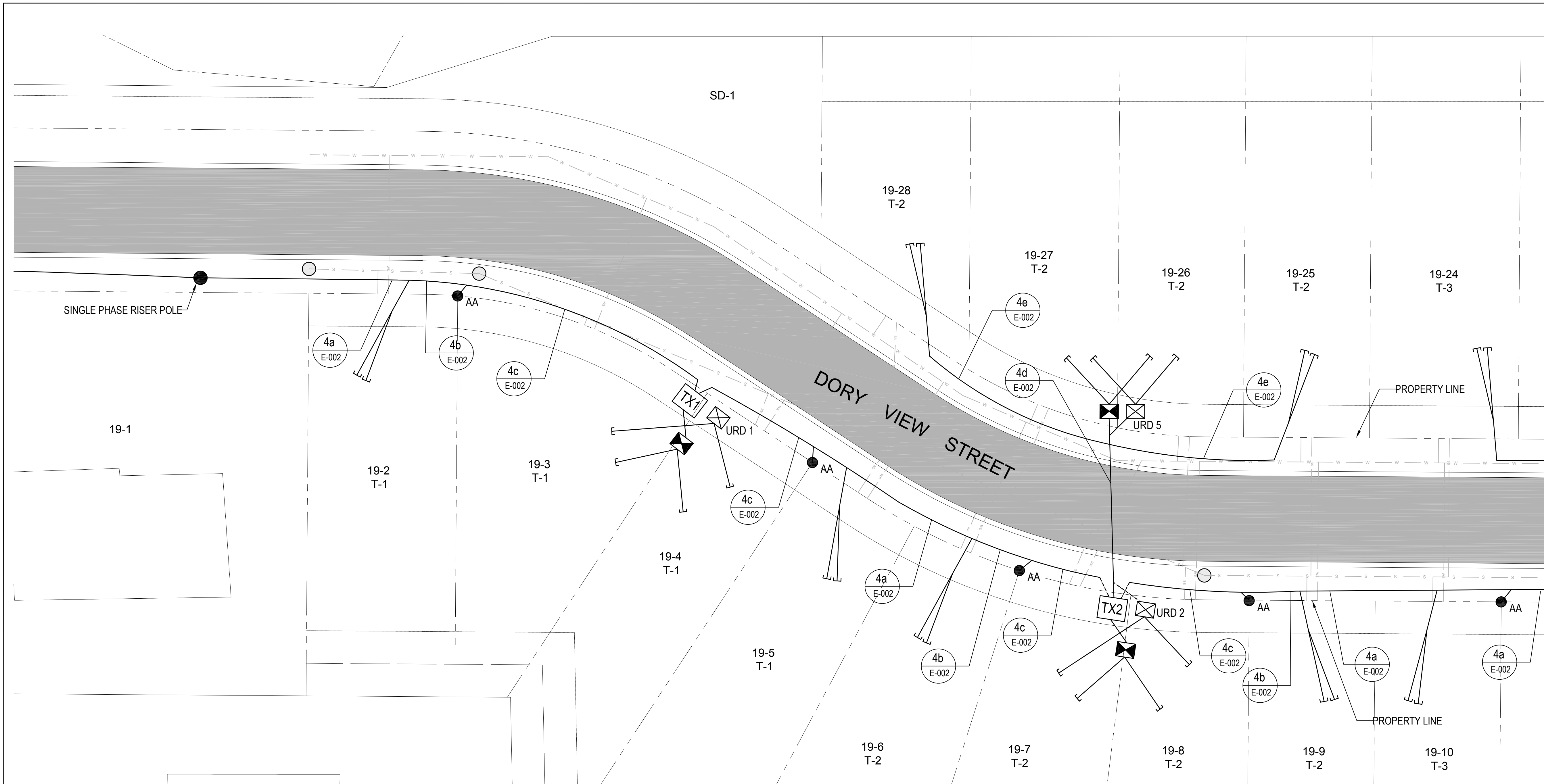
Project Name:

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SUMMERSIDE, PE**

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1 ELECTRICAL SITE PLAN - A
E-101 SCALE: 1:200

TRANSFORMER SCHEDULE	
TRANSFORMER	KVA
TX-1	50
TX-2	75
TX-3	75
TX-4	50

LIGHT FIXTURE SCHEDULE							
TAG	DESCRIPTION	SOURCE	VOLTS	WATTS	LUMENS	MANUFACTURER	MODEL #
AA	POLE MOUNTED LED, FIXTURE 3000K, DIE CAST ALUMINUM CONSTRUCTION, COMPLETE WITH ROUND STEEL POLE, BLACK IN COLOR.	LED	120	-	4924	TRADITIONAIRE	1474
		ACCEPTED ALTERNATIVES					
		ACCUITY, CREE, EATON, PHILLIPS					

- SYMBOL LEGEND:
- TX TRANSFORMER PAD
 - SECONDARY ABOVE GRADE PEDI
 - COMMUNICATION PEDESTAL
 - LIGHT STANDARD



DEVELOPER

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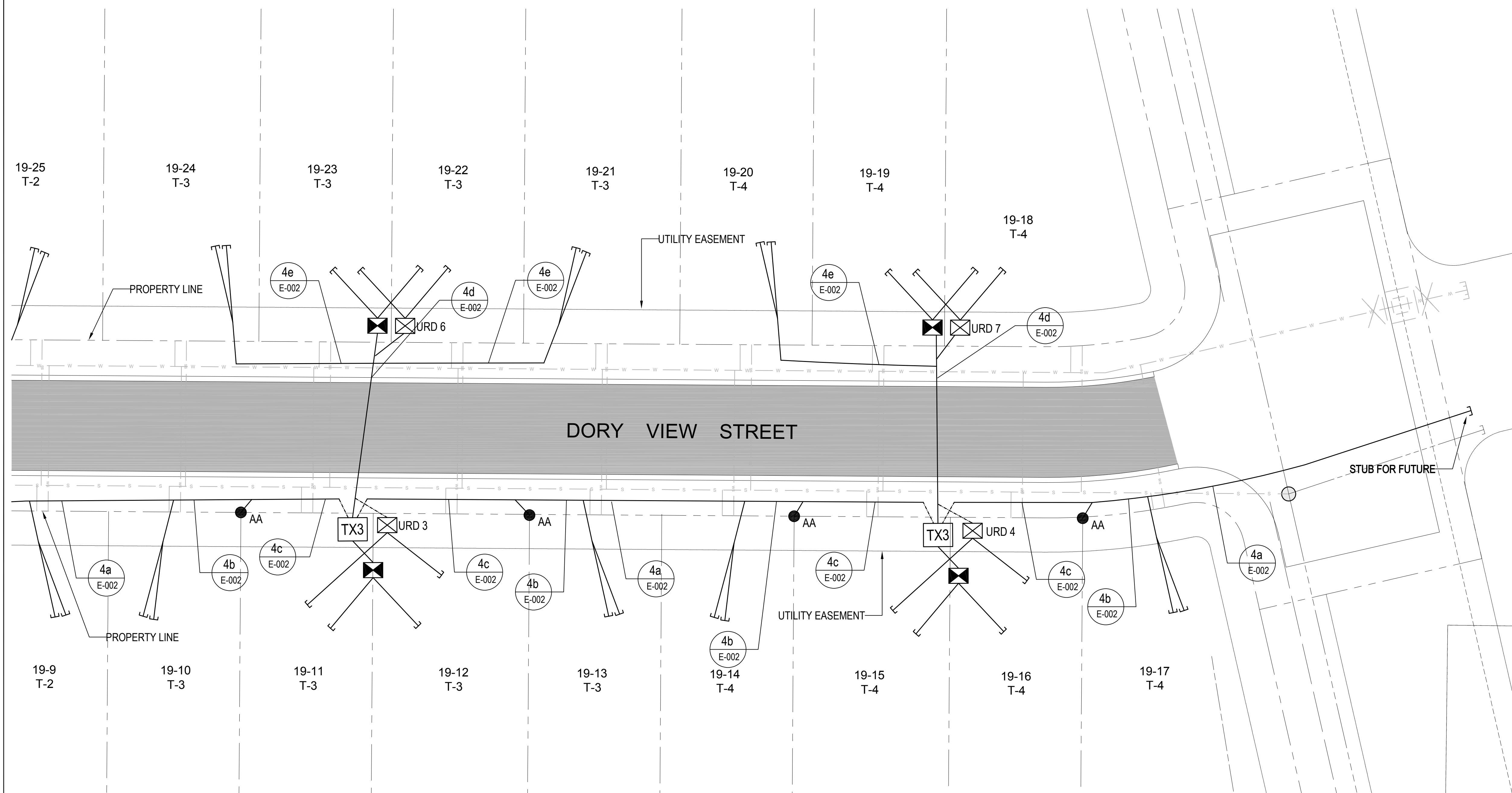
Project Name:

**DORY VIEW AT WATERS EDGE
SUMMERSIDE, PE**

Drawing Title:

ELECTRICAL SITE PLAN

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Engineer	CM	
Project No	2019.023	Rev No. 0



1 ELECTRICAL SITE PLAN - B
E-102 SCALE: 1:200

- SYMBOL LEGEND:
- TX TRANSFORMER PAD
 - SECONDARY ABOVE GRADE PEDIST
 - COMMUNICATION PEDESTAL
 - AA LIGHT STANDARD



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Project Name:

**DORY VIEW AT WATERS EDGE
SUMMERSIDE, PE**

Drawing Title:

ELECTRICAL SITE PLAN

Date	MAY 22, 2019	Sheet
Scale	1:200	E-102
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26 05 00 - COMMON WORK RESULTS ELECTRICAL

EXAMINATION OF SITE AND CONDITIONS

1) EXAMINE THE SITE AND LOCAL CONDITIONS AFFECTING THE WORK WITH ALL TENDER DOCUMENTS, TO ENSURE THE WORK CAN BE SATISFACTORILY PERFORMED AS SHOWN. PRIOR TO COMMENCING WORK, EXAMINE THE WORK OF OTHER DIVISIONS AND REPORT AT ONCE ANY DEFECT OR INTERFERENCE AFFECTING THE WORK OF THIS CONTRACTOR. NO ALLOWANCE WILL BE MADE LATER FOR ANY EXPENSES INCURRED THROUGH FAILURE TO MAKE THIS EXAMINATION OR TO REPORT ANY DISCREPANCIES IN WRITING.

2) THIS CONTRACTOR IS TO ATTEND ALL SITE MEETINGS PRIOR TO CLOSE OF TENDER TO CONFIRM SCOPE OF WORK.

BY-LAW AND REGULATIONS

1) CONFORM WITH LATEST RULES, REGULATIONS AND DEFINITIONS OF THE CANADIAN ELECTRICAL CODE, APPLICABLE MUNICIPAL AND PROVINCIAL CODES AND REGULATIONS AND WITH REQUIREMENTS OF OTHER AUTHORITIES HAVING JURISDICTION IN THE AREA WHERE WORK IS TO BE PERFORMED.

2) STANDARDS ESTABLISHED BY DRAWINGS AND SPECIFICATIONS SHALL NOT BE REDUCED BY ANY CODES REFERRED TO ABOVE AND MINOR CHANGES REQUIRED BY AN AUTHORITY HAVING JURISDICTION SHALL BE PERFORMED WITHOUT CHANGE TO THE CONTRACT AMOUNT.

SAFETY REQUIREMENTS

1) CLEAN SITE AT REGULARLY SCHEDULED TIMES. LEAVE WORK CLEAN BEFORE INSPECTION PROCESS COMMENCES.

2) DO NOT LEAVE THE SITE IN DANGEROUS CONDITIONS, UNDER ANY CIRCUMSTANCES, DURING THE PROGRESS OF WORK.

CO-OPERATION AND RESPONSIBILITY

1) INCLUDE FULL RESPONSIBILITY FOR LAYOUT OF ELECTRICAL WORK, FOR DAMAGE CAUSED TO OTHER DIVISIONS OF WORK BY REASON OF IMPROPER LOCATION OR INSTALLATION OF WORK IN ADVANCE OF CONCRETE POURING OR SIMILAR WORK, FOR CONDITIONS OF ALL MATERIAL AND EQUIPMENT SUPPLIED UNDER THIS DIVISION AND FOR PROTECTION AND MAINTENANCE OF WORK COMPLETED AND ACCEPTED UNTIL TERMINATION OF CONTRACT.

2) CO-OPERATE WITH OTHER DIVISIONS TO ENSURE THAT ITEMS INSTALLED UNDER THIS DIVISION ARE LOCATED IN PROPER RELATION WITH BUILDING CONSTRUCTION, ARCHITECTURAL FINISHES AND WITH OTHER EQUIPMENT OR APPARATUS.

GUARANTEE

1) GUARANTEE MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE BY ENGINEER. EXCEPT FOR INCANDESCENT LAMPS WHICH SHALL BE GUARANTEED FOR A PERIOD OF 90 DAYS FROM DATE OF FINAL ACCEPTANCE. ALL DEFECTS SHALL BE CORRECTED AND MADE GOOD DURING THIS PERIOD EXCEPT DEFECTS OCCURRING FROM MISUSE BY OWNER.

PERMITS FEES AND CERTIFICATES

1) FILE CONTRACT DRAWINGS WITH PROPER AUTHORITIES AND OBTAIN APPROVAL OF INSTALLATION AND PERMITS FOR THE WORK. PREPARE AND SUBMIT NECESSARY DETAIL SHOP DRAWINGS AS REQUIRED BY AUTHORITIES.

2) PAY ALL FEES IN CONNECTION WITH EXAMINATION OF DRAWINGS, FOR PERMITS, INSPECTIONS AND FINAL CERTIFICATES OF APPROVAL.

3) SUPPLY NECESSARY CERTIFICATES AS EVIDENCE THAT WORK AS INSTALLED CONFORMS WITH LAWS AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION.

EQUIPMENT SHOP DRAWINGS

1) PREPARE AND SUBMIT A MINIMUM OF SIX SHOP DRAWINGS OF ALL MAJOR ITEMS OF EQUIPMENT PRIOR TO EQUIPMENT FABRICATION, DELIVERY OR INSTALLATION. SHOP DRAWINGS SHALL INDICATE MANUFACTURER, CATALOGUE NUMBER, DIMENSIONS, SPECIAL FEATURES OR FINISHES.

2) SUBMIT SHOP DRAWING WITHIN (7) DAYS OF AWARD OF CONTRACT.

3) THE OWNER RESERVES THE RIGHT TO WAIVE APPROVAL DRAWINGS AND ACCEPT RECORD DRAWINGS, THIS IN NO WAY RELIEVES THE CONTRACTOR FROM SUPPLYING THE SPECIFIC EQUIPMENT.

4) THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL SHOP DRAWINGS FOR ERRORS OR OMISSIONS TO CONFORM WITH ACCURACY REQUIREMENTS OF DIMENSIONS TO CONFORM WITH SITE CONDITIONS AND FOR INFORMATION THAT PERTAINS SOLELY TO EQUIPMENT FABRICATION PROCESSES.

AS BUILT DRAWINGS

1) THE CONTRACTOR SHALL MAINTAIN ON SITE ONE SET OF UP TO DATE AS BUILT DRAWINGS FOR REVIEW AT ALL TIMES. AT THE END OF THIS CONTRACT THE CONTRACTOR SHALL SUPPLY THE OWNER A COMPLETE SET OF AS BUILT DRAWINGS FOR HIS REVIEW AND ACCEPTANCE.

2) PROVIDE THREE (3) OPERATIONS AND MAINTENANCE MANUALS IN 3 POST BACK BINDER AT COMPLETION OF THE PROJECT. MANUALS SHALL CONTAIN A LIST OF SUPPLIERS INCLUDING TELEPHONE NUMBERS, SHOP DRAWINGS, FINAL ELECTRICAL INSPECTION CERTIFICATE, FIRE ALARM VERIFICATION, RECORD DRAWINGS, AND TEST REPORTS. EACH SECTION SHALL BE SEPARATELY TABBED. EACH PIECE OF EQUIPMENT REQUIRING ADJUSTMENT OR REGULAR MAINTENANCE SHALL HAVE CLEAR INSTRUCTIONS TO HOSE REQUIREMENTS.

COMPLETION

1) LEAVE ALL NEW AND RELOCATED EQUIPMENT CLEAN, FREE OF CONSTRUCTION DEBRIS AND OTHER FOREIGN MATTER. REMOVE ANY TEMPORARY OR PROTECTIVE COATINGS.

2) UPON COMPLETION OF THE WORK THE CONTRACTOR SHALL PROVIDE IN A TIMELY FASHION *AS BUILT* DRAWINGS, LETTER OF WARRANTY, OWNERS MANUAL AND WORKERS COMPENSATION CLEARANCE CERTIFICATE.

EQUIPMENT LOCATIONS

1) THE RIGHT IS RESERVED TO ALTER THE LOCATION OF EQUIPMENT AND OUTLETS AT DISTANCE OF UP TO TEN FEET (3 METERS) WITHOUT INVOLVING A CHANGE TO THE CONTRACT AMOUNT, PROVIDED NOTICE IS GIVEN PRIOR TO INSTALLATION OF SAME.

CONTRACT DRAWINGS

1) THESE DRAWINGS ARE INTENDED TO SERVE AS A GUIDE SHOWING QUANTITIES AND GENERAL ARRANGEMENTS AND ARE NOT NECESSARILY WORKING DRAWINGS FROM WHICH MEASUREMENTS CAN BE TAKEN, EXCEPT WHERE DIMENSION FIGURES ARE SPECIFICALLY SHOWN. INFORMATION INVOLVING ACCURATE MEASUREMENTS OF BUILDING SHALL BE TAKEN FROM BUILDING DRAWING OR FROM THE SITE.

MATERIAL

1) MATERIALS SUPPLIED BY THIS CONTRACTOR SHALL BE NEW, OF CANADIAN MANUFACTURE WHERE AVAILABLE AND OF FIRST QUALITY AND UNIFORM THROUGHOUT.

2) ALL ELECTRICAL MATERIALS SHALL BE CSA APPROVED AND LABELED AND ALL MATERIALS NOT APPROVED SHALL RECEIVE ACCEPTANCE FOR INSTALLATION BY SPECIAL APPLICATION TO CSA. MATERIAL SHALL NOT BE INSTALLED OR CONNECTED TO A SOURCE OF ELECTRICAL POWER UNTIL APPROVAL IS OBTAINED.

RETURN OF DRAWINGS

1) AT THE COMPLETION OF THE JOB, ALL DRAWINGS SHALL BE RETURNED, REGARDLESS OF THEIR CONDITION.

PLANS FOR RECORDING CHANGES

1) OBTAIN ONE SET OF WHITE PRINTS AND RECORD ON ANY ALTERATIONS OF THE ROUTING OF CONDUIT, WIRING AND ETC., OR SHOW ON THE CONTRACT DRAWINGS. THESE DRAWINGS TO BE KEPT UP TO DATE AND TURNED OVER AT THE COMPLETION OF THE PROJECT.

CLEANING UP

1) ALL REFUSE AND DEBRIS CAUSED BY THIS CONTRACTOR SHALL BE REMOVED FROM THE SITE AT FREQUENT INTERVALS. BEFORE THE WORK IS FINALLY ACCEPTED BY THE OWNER, THIS CONTRACTOR SHALL THOROUGHLY CLEAN ALL EQUIPMENT, APPARATUS AND FIXTURES AND LEAVE THEM IN PERFECT NEW CONDITION.

INSTRUCTIONS TO OPERATORS

1) INSTRUCT THE OWNER'S OPERATOR IN THE CARE AND MAINTENANCE AND OPERATION OF ALL ELECTRICAL SYSTEMS AND EQUIPMENT INSTALLED UNDER THE SPECIFICATION.

2) PREPARE THREE COPIES OF OPERATIONS AND MAINTENANCE INSTRUCTIONS, SHOP DRAWINGS, WIRING DIAGRAMS, DESCRIPTIVE LITERATURE FOR EACH ITEM OF EQUIPMENT SUPPLIED. COMBINE THESE TOGETHER IN LOOSE LEAF BINDERS.

3) THESE LOOSE LEAF BINDERS SHALL BE PRESENTED UPON COMPLETION OF THE PROJECT.

INSPECTIONS AND TESTING

1) ALL WORK SHALL BE LEFT OPEN FOR INSPECTION SO THAT INSPECTION MAY BE MADE BEFORE THE WORK IS COVERED.

UTILITY SERVICES

1) THIS CONTRACTOR IS FINANCIALLY RESPONSIBLE TO PROVIDE COMPLETE ELECTRICAL, TELEPHONE AND COMPUTER SYSTEMS. THIS CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH AND PAY FOR ALL UTILITY FEES.

26 05 20 - WIRE AND BOX CONNECTORS

PRODUCTS

- ALL CONNECTIONS SHALL BE MADE ELECTRICALLY AND MECHANICALLY SECURE. SIZES OF CONNECTORS SHALL BE ACCORDING TO MANUFACTURER'S RECOMMENDATIONS FOR EACH SIZE AND COMBINATION OF WIRES.
- JOINTS REQUIRED IN BRANCH WIRING #10 AWG AND SMALLER SHALL BE MADE USING FIXTURE TWIST-ON TYPE CONNECTORS WITH CURRENT CARRYING PARTS MADE OF COPPER.
 - STANDARD OF ACCEPTANCE: MARRETTE #31, #33 OR #35 AS REQUIRED.
- JOINTS FOR WIRING #8 AWG AND LARGER SHALL BE MADE USING PRESSURE TYPE COLOUR KEYED COMPRESSION CONNECTORS WITH CURRENT CARRYING PARTS MADE OF COPPER USING COMPRESSION TOOLS. A FIRST LAYER OF TAPE SHALL BE COMPOUND TYPE FOLLOWED BY A LAYER OF SCOTCH #3 VINYL TYPE.
 - STANDARD OF ACCEPTANCE: 54000 SERIES.
- BUSHING STUD CONNECTORS: AS REQUIRED TO SUIT CONDUCTORS
- CLAMPS OR CONNECTORS FOR ARMoured CABLE AND FLEXIBLE CONDUIT AS REQUIRE

EXECUTION

- REMOVE INSULATION CAREFULLY FROM ENDS OF CONDUCTORS AND:
 - INSTALL MECHANICAL PRESSURE TYPE CONNECTORS AND TIGHTEN SCREWS WITH APPROPRIATE COMPRESSION TOOL RECOMMENDED BY MANUFACTURER. INSTALLATION SHALL MEET SECURENESS TESTS IN ACCORDANCE WITH CSA C22.2 NO. 65.
 - INSTALL FIXTURE TYPE CONNECTORS AND TIGHTEN. REPLACE INSULATING CAP.
- ALL CONNECTIONS SHALL BE MADE ELECTRICALLY AND MECHANICALLY SECURE. SIZES OF CONNECTORS SHALL BE ACCORDING TO MANUFACTURER'S RECOMMENDATIONS FOR EACH WIRE SIZE AND COMBINATION OF WIRES. TWIST WIRES TOGETHER BEFORE INSTALLING CONNECTORS. ALL STRANDED CONDUCTORS SHALL BE TWISTED TOGETHER PRIOR TO CONNECTION AROUND TERMINAL.

26 05 21 - WIRE AND CABLES (0-1000V)

PRODUCTS

- BUILDING WIRES
CONDUCTORS: COPPER, SOFT DRAWN STRANDED, AT LEAST 98% CONDUCTIVITY FOR #10 AWG AND LARGER. INSULATION SHALL BE CHEMICALLY CROSS-LINKED THERMOSETTING POLYETHYLENE RATED 600 VOLTS ON ALL RW90 CONDUCTORS AND 1000 VOLTS FOR RWU-90 FOR INCOMING SERVICE. SIZE AS INDICATED ON DRAWINGS AND SCHEDULES. CONDUCTOR INSULATION SHALL BE COLOUR CODED AS FOLLOWS:

PHASE A	-	RED
PHASE B	-	BLACK
PHASE C	-	BLUE
NEUTRAL	-	WHITE
GROUND	-	GREEN
ISOLATED POWER	-	AS INDICATED HEREAFTER

WHERE EXTRA COLORS ARE REQUIRED FOR THREE-WAY SWITCHES, ETC, THEY SHALL BE YELLOW.

APPROVED COLOR CODED TAPE IS ACCEPTABLE FOR COLOR CODING PHASE CONDUCTORS #1 AWG AND LARGER AND FOR NEUTRAL AND GROUND CONDUCTORS #40 AND LARGER.

EXECUTION

2. FIELD QUALITY CONTROL

- PERFORM TESTS IN ACCORDANCE WITH SECTION 26 05 00 - COMMON WORK RESULTS FOR ELECTRICAL.
- PERFORM TESTS USING METHOD APPROPRIATE TO SITE CONDITIONS AND TO APPROVAL OF OWNER'S REPRESENTATIVE AND LOCAL AUTHORITY HAVING JURISDICTION OVER INSTALLATION.
- PERFORM TESTS BEFORE ENERGIZING ELECTRICAL SYSTEM.

26 05 34 - CONDUITS, CONDUIT FASTENINGS, AND CONDUIT FITTINGS

PRODUCTS

- CONDUITS
 - RIGID PVC CONDUIT: TO CSA C22.2 NO. 211.2.
- CONDUIT FITTINGS
 - FITTINGS: MANUFACTURED FOR USE WITH CONDUIT SPECIFIED. COATING: SAME AS CONDUIT.
 - FACTORY "ELLS" WHERE 900, 45 O OR 22.5 O BENDS ARE REQUIRED FOR 25 MM AND LARGER CONDUITS.
 - ENSURE CONDUIT BENDS OTHER THAN FACTORY "ELLS" ARE MADE WITH AN APPROVED BENDER. MAKING OFFSETS AND OTHER BENDS BY CUTTING AND REJOINING 90 DEGREE BENDS ARE NOT PERMITTED.
- EXPANSION FITTINGS FOR RIGID CONDUIT
 - WEATHERPROOF EXPANSION FITTINGS WITH INTERNAL BONDING ASSEMBLY SUITABLE FOR 100 MM LINEAR EXPANSION.
 - WATERTIGHT EXPANSION FITTINGS WITH INTEGRAL BONDING JUMPER SUITABLE FOR LINEAR EXPANSION AND 19 MM DEFLECTION IN ALL DIRECTIONS.
 - WEATHERPROOF EXPANSION FITTINGS FOR LINEAR EXPANSION AT ENTRY TO PANEL.
- FISH CORD
 - POLYPROPYLENE

EXECUTION

- MANUFACTURERS INSTRUCTIONS
 - COMPLIANCE: COMPLY WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS OR SPECIFICATIONS, INCLUDING PRODUCT TECHNICAL BULLETINS, HANDLING, STORAGE AND INSTALLATION INSTRUCTIONS, AND DATASHEETS.
- INSTALLATION
 - INSTALL ALL CONDUIT, CONDUIT FITTINGS AND ACCESSORIES IN ACCORDANCE WITH THE LATEST EDITION OF THE CANADIAN ELECTRICAL CODE IN A MANNER THAT DOES NOT ALTER, CHANGE OR VIOLATE ANY PART OF THE INSTALLED SYSTEM COMPONENTS OR THE CSA/UL CERTIFICATION OF THESE COMPONENTS.
 - USE RIGID PVC CONDUIT UNDERGROUND AND BURIED IN OR UNDER CONCRETE SLAB ON GRADE.
- CONDUITS UNDERGROUND
 - SLOPE CONDUITS TO PROVIDE DRAINAGE.
 - WATERPROOF JOINTS (PVC EXCEPTED) WITH HEAVY COAT OF BITUMINOUS PAINT
- CLEANING
 - PROCEED IN ACCORDANCE WITH SECTION 01 74 11 - CLEANING.
 - ON COMPLETION AND VERIFICATION OF PERFORMANCE OF INSTALLATION, REMOVE SURPLUS MATERIALS, EXCESS MATERIALS RUBBISH, TOOLS AND EQUIPMENT.

26 05 43 - INSTALLATION OF CABLES IN DUCTS

EXECUTION

- CABLE INSTALLATION IN DUCTS
 - INSTALL CABLES AS INDICATED, IN DUCTS.
 - DO NOT PULL SPLICED CABLES INSIDE DUCTS.
 - INSTALL MULTIPLE CABLES IN DUCT SIMULTANEOUSLY.
 - USE CSA APPROVED LUBRICANTS OF TYPE COMPATIBLE WITH CABLE JACKET TO REDUCE PULLING TENSION.
 - TO FACILITATE MATCHING OF COLOUR CODED MULTI CONDUCTOR CONTROL CABLES REEL OFF IN SAME DIRECTION DURING INSTALLATION.
 - BEFORE PULLING CABLE INTO DUCTS AND UNTIL CABLES ARE PROPERLY TERMINATED SEAL ENDS OF NON-LEADED CABLES WITH MOISTURE SEAL TAPE.
 - AFTER INSTALLATION OF CABLES, SEAL DUCT ENDS WITH DUCT SEALING COMPOUND.
- TESTING
 - PERFORM TESTS IN ACCORDANCE WITH SECTION 26.
 - PERFORM TESTS USING QUALIFIED PERSONNEL. PROVIDE NECESSARY INSTRUMENTS AND EQUIPMENT.

- CHECK PHASE ROTATION AND IDENTIFY EACH PHASE CONDUCTOR OF EACH FEEDER.
- CHECK EACH FEEDER FOR CONTINUITY, SHORT CIRCUITS AND GROUNDS. ENSURE RESISTANCE TO GROUND OF CIRCUITS IS NOT LESS THAN 50 MEGOHMS.
- PRE-ACCEPTANCE TESTS.
 - AFTER INSTALLING CABLE BUT BEFORE SPLICING AND TERMINATING, PERFORM INSULATION RESISTANCE TEST WITH 600 V MEGGER ON EACH PHASE CONDUCTOR.
 - CHECK INSULATION RESISTANCE AFTER EACH SPLICE AND/OR TERMINATION TO ENSURE THAT CABLE SYSTEM IS READY FOR ACCEPTANCE TESTING.
- ACCEPTANCE TESTS
 - ENSURE THAT TERMINATIONS AND ACCESSORY EQUIPMENT ARE DISCONNECTED.
 - GROUND SHIELDS, GROUND WIRES, METALLIC ARMOUR AND CONDUCTORS NOT UNDER TEST.
 - PROVIDE ARCHITECT AND/OR ENGINEER WITH LIST OF TEST RESULTS SHOWING LOCATION AT WHICH EACH TEST WAS MADE, CIRCUIT TESTED AND RESULT OF EACH TEST.
 - REMOVE AND REPLACE ENTIRE LENGTH OF CABLE IF CABLE FAILS TO MEET ANY OF THE TEST CRITERIA.
 - FAILURE TO PROVIDE TEST RESULTS WILL DELAY PROGRESS BILLING.

26 05 44 - DIRECT BURIED UNDERGROUND CABLES

PRODUCTS

- PVC DUCTS
 - RIGID PVC CONDUITS: SIZE AS INDICATED, NOMINAL LENGTH OF 3 METRES.
 - RIGID PVC COUPLINGS, REDUCERS, BELL END FITTINGS, PLUGS, CAPS, ADAPTORS AS REQUIRED TO MAKE COMPLETE INSTALLATION.
 - RIGID PVC 90 AND 45 BENDS AS REQUIRED.
 - RIGID PVC 5 ANGLE COUPLINGS AS REQUIRED.
 - EXPANSION JOINTS AS REQUIRED.
- SOLVENT
 - SOLVENT WELD COMPOUND FOR PVC DUCT JOINTS
- CABLE PULLING EQUIPMENT
 - 6.5mm STRANDED NYLON PULL ROPE TENSILE 5kN.
- MARKING TAPE
 - 150mm WIDE, RED, POLYETHYLENE MARKED "BURIED ELECTRIC LINE"
 - STANDARD OF ACCEPTANCE: THOMAS AND BETTS NA TYPE.
- MANUFACTURERS
 - STANDARD OF ACCEPTANCE: SCEPTER
 - OTHER APPROVED MANUFACTURER: CANON

EXECUTION

- INSTALLATION
 - INSTALL PVC DUCT AS INDICATED AND IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
 - EXCAVATION, TUNNELING, AND BACKFILLING TO THE REQUIREMENTS OF SECTION 02223.
 - CLEAN INSIDE OF DUCTS BEFORE LAYING.
 - ENSURE FULL, EVEN SUPPORT EVERY 1500MM THROUGHOUT DUCT LENGTH.
 - SLOPE DUCTS AWAY FROM BUILDING AND POLE WITH 1 TO 400 MINIMUM SLOPE. PUNCH A SMALL HOLE IN BOTTOM OF DUCTS AT LOW POINT.
 - PROVIDE SLEEVE FOR DUCTS PASSING THROUGH FOOTINGS.
 - DURING CONSTRUCTION, CAP ENDS OF DUCTS TO PREVENT ENTRANCE OF FOREIGN MATERIALS.
 - PULL THROUGH EACH DUCT A STEEL MANDREL NOT LESS THAN 300MM LONG AND OF A DIAMETER 65MM LESS THAN INTERNAL DIAMETER OF DUCT, FOLLOWED BY STIFF BRISTLE BRUSH TO REMOVE SAND, EARTH AND OTHER FOREIGN MATTER. PULL STIFF BRISTLE BRUSH THROUGH EACH DUCT IMMEDIATELY BEFORE PULLING-IN CABLES.
 - IN EACH DUCT INSTALL PULL ROPE CONTINUOUS THROUGHOUT EACH DUCT RUN WITH 3 METRES OF SPARE ROPE AT EACH END.
 - INSTALL MARKING TAPE 150MM BELOW FINISHED GRADE ALONG THE COMPLETE LENGTH OF BURIED DUCT AS INDICATED.



DEVELOPER

ENGINEER

**HARLAND
ENGINEERING
SERVICES INC.**
ENGINEERS • PROJECT MANAGERS

P.O. Box 1653
Charlottetown, PE
C1A 7M4
Tel: 902.395.3365
Fax: 902.626.3412

Project Name:

**DORY VIEW AT WATERS EDGE
SUMMERSIDE, PE**

Drawing Title:

ELECTRICAL SITE PLAN

Date	MAY 22, 2019	E-201
Scale	AS NOTED	
Drawn	SCW	
Engineer	CM	
Project No	2019.023	
		Sheet Rev No. 0

Linda Stevenson

From: Cindy Bedwell
Sent: Monday, May 13, 2024 3:35 PM
To: Linda Stevenson
Subject: FW: Rezoning Application - 185 Pope Road

From: Thayne Jenkins <Thayne.Jenkins@city.summerside.pe.ca>
Sent: Monday, April 8, 2024 3:22 PM
To: Cindy Bedwell <cindy.bedwell@city.summerside.pe.ca>; Tony Gallant <Tony.Gallant@city.summerside.pe.ca>; Gary McInnis <gary.mcinnis@city.summerside.pe.ca>; Mike Straw <mike.straw@city.summerside.pe.ca>; Municipal Services Building Permits <MSBuildingPermits@city.summerside.pe.ca>
Cc: Aaron MacDonald <aaron.macdonald@city.summerside.pe.ca>
Subject: Re: Rezoning Application - 185 Pope Road

I asked Cindy to bump out in case there are any big showstoppers, For example, front and rear yard setbacks are 5ft. There is no residential zone currently that allows a 5 ft front or rear yard setback. The only zone that may accommodate special development standards on a case-by-case basis is the Comprehensive Development Area CDA zone. The proposal requires official plan and zoning amendments from Industrial to CDA. There may be other issues such as parking on a one-way private road, width of road for fire trucks, etc.

Thayne Jenkins
Planning Officer

City of Summerside
275 Fitzroy Street
Summerside, PE C1N 1H9

Direct Line: 902-432-1260
Facsimile: 902-436-3191
E-mail: Thayne.Jenkins@city.summerside.pe.ca
Website: www.summerside.ca

This e-mail is directed in confidence solely to the persons to whom it is addressed and may not otherwise be distributed, copied or disclosed. If you have received this e-mail in error, please reply to the sender advising of the error and destroy the original message, without making a copy. Thank you.

From: Cindy Bedwell <cindy.bedwell@city.summerside.pe.ca>
Sent: Monday, April 8, 2024 2:58 PM
To: Tony Gallant <Tony.Gallant@city.summerside.pe.ca>; Gary McInnis <gary.mcinnis@city.summerside.pe.ca>; Mike Straw <mike.straw@city.summerside.pe.ca>; Thayne Jenkins <Thayne.Jenkins@city.summerside.pe.ca>; Municipal Services Building Permits <MSBuildingPermits@city.summerside.pe.ca>

Cc: Aaron MacDonald <aaron.macdonald@city.summerside.pe.ca>

Subject: Rezoning Application - 185 Pope Road

Rec'd an application for rezoning at 185 Pope Road (PID 548610). It was suggested to send out the plans for comment gathering at this point. The application/plans have been entered into the system.

Please see attached.

Cindy

Linda Stevenson

From: Linda Stevenson
Sent: Monday, May 13, 2024 3:42 PM
To: 'Jamie Rodgerson'
Cc: Aaron MacDonald; Thayne Jenkins
Subject: 185 Pope Road
Attachments: Comprehensive Development Area (CDA) Zone.pdf; 185 Pope Road application.pdf; 185 Pope Road Preliminary Plans.pdf; 185 Pope Road Site Plan.pdf

Jamie

Thanks for your submission for housing development at 185 Pope Road. I apologize for not getting back to you sooner, I was of the understanding that the following comments were sent to you and pending your review, direction and your fee submission of \$600 (\$300 for Official Plan amendment and \$300 for Zoning amendment). The amendments do not commence until the fees have been paid.

Please review to address the matters or concerns noted as follows:

Land Use/Zoning - We don't have a current residential zone with development standards to accommodate the proposed development. CDA appears to be the best suited to accommodate this proposed development. Please review the following comments, and advise if you wish to proceed with CDA zoning (see attached). There is a \$600 fee due prior to proceeding with the public process of amending the Official Plan and the zoning bylaw.

Water/Sewer:

The water main is to be looped between Pope Road and Mill Crescent. The City will take ownership of this once the system is in place to the city standards and has passed all required testing.

The sewer system for this development's first option is to drain to Pope Road as there is no sewer main fronting the property on Mill Crescent. The Developer will have to ensure there is sufficient grade for this to service all structures. Pope Road sewer invert 24.48, Mill Crescent ground elevation 25.

If the sewer main on Mill Crescent needs to be extended to facilitate this development (second option), it would be at the developer's cost.

Site Drainage/Access:

A site drainage plan would be needed.

An access culvert will be needed for Mill Crescent. At the developer's cost.

There is curb and gutter on Pope Road which will need Access changes. Developer's cost.

An allowance for the new active transportation along Pope Road behind the existing curb will also need to be accommodated.

Driving lane width to be 7 m width. To allow for service vehicles and garbage pickup.

The access is a private drive and will need one way and do not enter signage at the appropriate ends. Lane way to be marked private drive.

For Electric Utility:

- Zoning change is fine for electrical if developer can allocate space for needed infrastructure, Utility power is available for a development in this location from either Pope Rd or Mill Crescent.
- As the space from road to building is only 5ft this is not enough space for utility poles and overhead powerlines. Developer will be required to design and construct underground power network of high/low

voltage cable (and telecoms). See recently constructed Dory View subdivision as example (attached). This will need to be design coordinated with utility water/sewer/storm and other infrastructure needs. Buildings may need to push further back from street, or larger gaps between some buildings to make space for all the needed equipment. Developer and their designer should book a meeting with Summerside Electric to discuss more detailed electrical plans if/when proceeding.

Building:

Please note, while the information provided is for a rezoning application, there are some errors noted in regards to the building.

Drawing S102 Note 4: *"Homes are separated 2.4 meters in accordance to Section 3.2.3.1 of NBC 2015 to meet minimum fire separation. This code requires no more than 0.35m² window area on exposed walls."*

This information is incorrect. The reference section is 9.10.15.4 of the 2020 edition of the NBC. The limiting distance is taken from a centerline between the two dwellings, so at 2.4m the limiting distance is 1.2m. Based on the exposed wall size of 23.8m², Table 9.10.15.4 shows a maximum allowed glazing area (inc rough openings) of 7% which would be a maximum glazing area of 1.66m² as opposed to the 0.35m² stated.

Per 9.10.15.5.(11) the roof soffits will be required to have no openings and be protected per the method noted in the article, the plans for building permit will need to state how roof ventilation will be provided without using the soffits.

The width of the lane for fire trucks is outside the NBC in this case but usually the requirement is 6m minimum.

Should you wish to proceed, please submit your fees and I will begin the public notification process and advise you of the public meeting date/time.

Regards,
Linda

Linda Stevenson
Development Officer, City of Summerside
275 Fitzroy Street
Summerside, PE C1N 1H9
Phone: 902-432-1270

Comprehensive Development Area (CDA) zone

21.1 The purpose of this zone is to facilitate innovative developments for realizing the best use or mix of compatible uses of particular sites.

CDA Zone

21.2 Subject to Council's approval of a comprehensive development plan for uses appropriate to the development site and surrounding area:

- mixes of residential, commercial, institutional, parkland, special or conservation uses;
- mixes of housing types and densities;
- innovative development concepts such as cluster, zero lot line, flag lot and integrated residential/recreational layouts.

21.3 Development Standards

Council may tailor development standards in each CDA zone to meet the needs of innovative development concepts and particular site conditions. Council may also allow some flexibility respecting alternative servicing methods, provided their performance meets or exceeds that which would be achieved by engineering standards normally applied under the Summerside *Subdivision Bylaw & Site Development Bylaw SS-19*.

Minimum CDA Zoning Requirements

Council may approve a CDA zoning application provided that the following requirements are met:

- a. The proposed development cannot be accommodated readily in another zone or zones.
- b. The proposed development of the site is consistent with Official Plan policies and if necessary amends the Official Plan (Future Land Use Plan) map.

21.4 The procedures for a CDA zoning application are set out in Section 5.10 of this bylaw. In addition, the following information is required to process a CDA application:

- a. The applicant shall submit a comprehensive development plan for Council's consideration in a form acceptable to the Development Officer, including the

following information:

- i. boundaries of the site;
 - ii. proposed land uses, including any parkland dedications;
 - iii. proposed subdivision and road layouts;
 - iv. proposed building sites and massing;
 - v. proposed types, densities and numbers of buildings;
 - vi. proposed development standards;
 - vii. proposed servicing concepts; and
 - viii. any other information required by the Development Officer.
- b. Council shall normally only approve a CDA official plan and zoning amendment based on the approved comprehensive development plan for the entire site. In special circumstances where development will be phased over a period of time, Council may initially approve a general concept plan for the entire site and, then, may approve a more detailed comprehensive development plan and a zoning amendment for each separate phase of development.
- c. All development within a CDA site shall comply with the approved comprehensive development plan for the site, as well as with any applicable requirements of this Bylaw and of other City and Provincial regulations.
- d. The Development Officer may approve technical revisions to a Council approved comprehensive development plan respecting minor changes to the siting of buildings or lot lines which do not impact on the plan's overall integrity. All proposed plan revisions other than those approved by the Development Officer shall be referred to Council for their approval or denial.

Park Levies

- 21.5** In the case of a residential subdivision within a CDA, park levies shall normally apply as under the Summerside Subdivision Bylaw.

185 Pope Road application.pdf

Official Plan/Zoning Bylaw Amendment Application

Applicant's name JAMIE RODGERSON
 Property owner's name HARLOK HOLDINGS INC
 Civic address (address of permit) PID 548610 LOCATED IN BETWEEN 169-171 POPE RD.
 Mailing Address (if different) 106 HALKE DRIVE, C1N 5H3 SUMMERSIDE PE
 Primary phone 902-315-4422 Secondary phone _____
 Email address rodgersonconstruction@gmail.com
 Property number PID 548610 Lot number _____



Amendment:
☐ Official Plan ☒ Zoning

Description of Project:

I AM APPLYING TO REZONE MY LAND TO ACCOMMODATE
A SENIOR HOUSING DEVELOPMENT. PLEASE FIND ATTACHED
THE PROPOSED PLANS.

MY LAND IS CURRENTLY ZONED M-1, I WOULD
BE LOOKING FOR REZONING + SPECIAL USE FOR MY
PROPERTY. THE DESIGNS ARE TO NATIONAL FIRE STANDARDS +
BUILDING CODES.

PROPERTIES TO BE RENTED INDIVIDUALLY.

I DO SOLEMNLY DECLARE:

1. That I am the Owner, or the Authorized Agent of the Owner, named in the application for a permit hereto attached.
2. That the statements contained in this application are true and made with full knowledge of the circumstances connected with the same.
3. That the site plans submitted correctly set out the dimensions and the area of the lands described in the application, and the relation of the location of the proposed building to the street and property line.
4. That I know of no reason why the permit should not be granted to me in pursuance of the said application, and making this declaration conscientiously believing it to be true.
5. I waive all rights or action against the City of Summerside and/or its officers, agents, or employees in respect to negligence or any damages which may be caused through the enforcement of any provision or provisions in any of the City Bylaws or for the revoking of a permit for any cause or irregularity of nonconformity with the Bylaws or regulations adopted by the City of Summerside.

Signature of Owner/Agent

Date

APR 18th 2024

185 Pope Road Preliminary Plans.pdf;



Revision:

Jamie
Rodgersen &
Sons

Project:
Tiny Homes
Development

Sheet Title:

Cover Sheet

Client Rep:

Jamie R.

Scale:

As noted

Issue Date:

March 18 2024

Drawn By:

K.G.

Drawing:

S100

Documents:

- S100 - Cover sheet
- S101 - Site Plan
- S102 - Site Plan Renderings
- S103 - Floor Plan - 1 Story - 2 Bedroom - 16'x32'
- S104 - Side Elevations

RECEIVED

APR 08 2024

Preliminary
Not for Construction
Print on 11"x17"

RECEIVED

APR 08 2024

Revision:

Jamie
Rodgers &
Sons

Project:
Tiny Homes
Development

Sheet Title:

V1 - 1 story
- 2 Bedroom
- 16x32

Client Rep:

Jamie R.

Scale:

As noted

Issue Date:

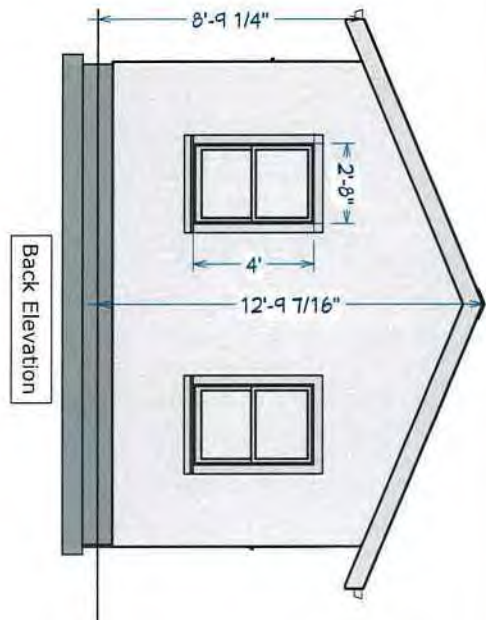
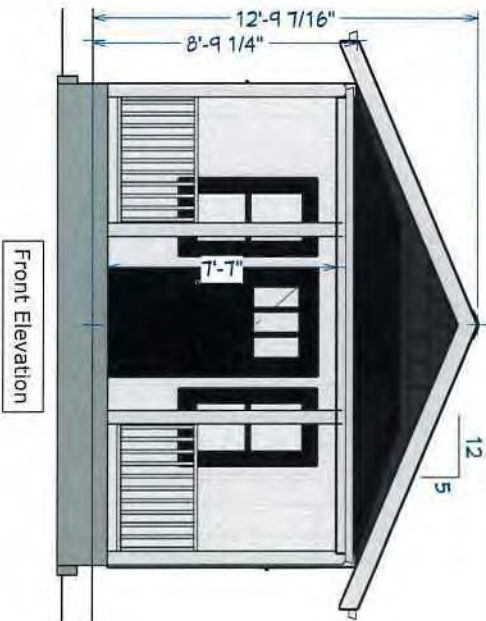
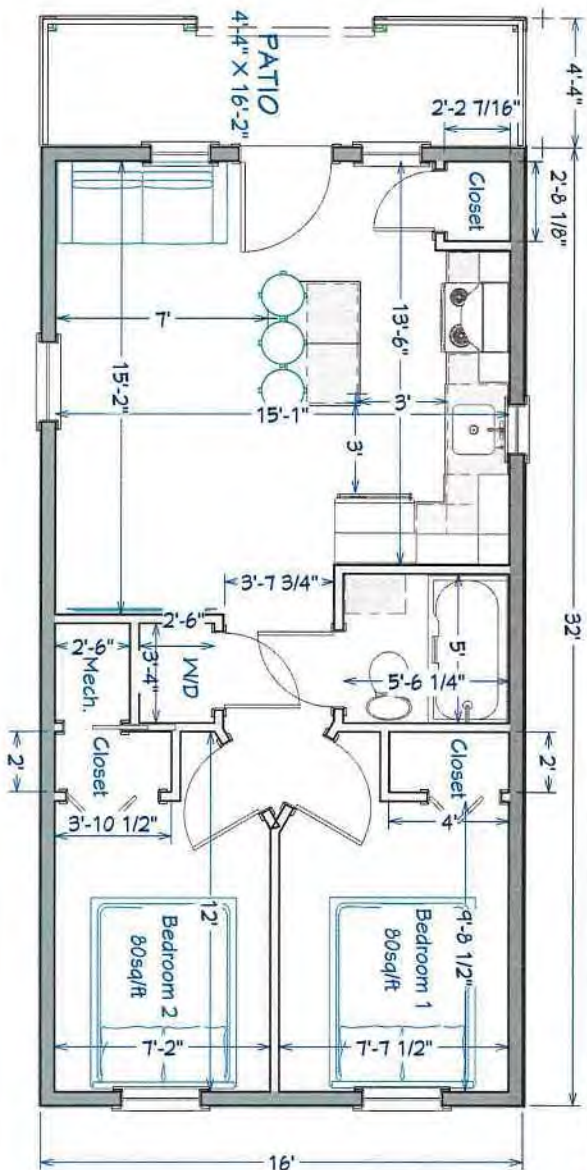
March 18 2024

Drawn By:

K.G.

Drawn By:

S103



Preliminary
Not for Construction
Print on 11"x17"
Scale: 1/4" = 1' - 0"

RECEIVED
APR 08 2024

Project
Ting Homes
Development

Revision:

Jamie
Rodgersen &
Sons

Side
Elevations

Client Rep:

Jamie R.

Scale:

As noted

Issue Date:

March 18 2024

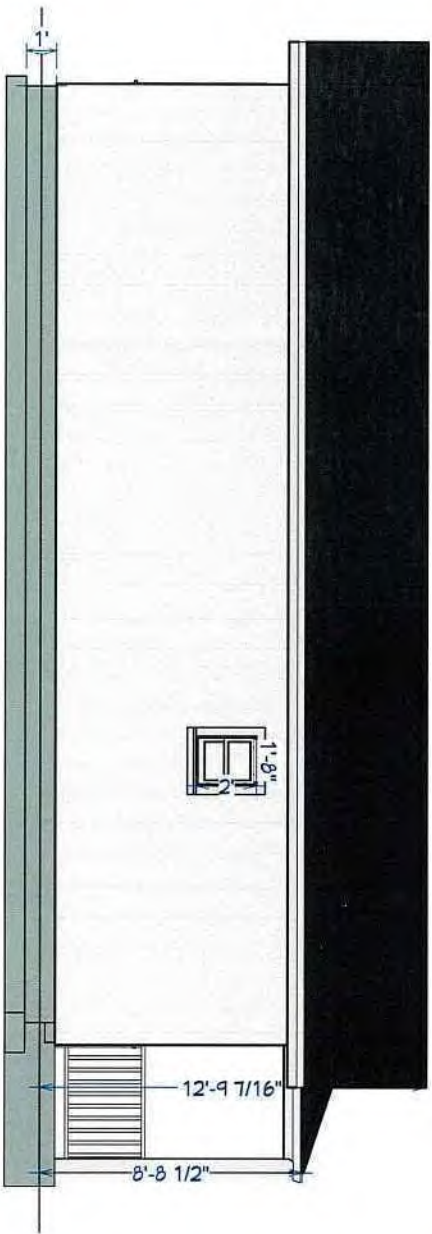
Drawn By:

K.G.

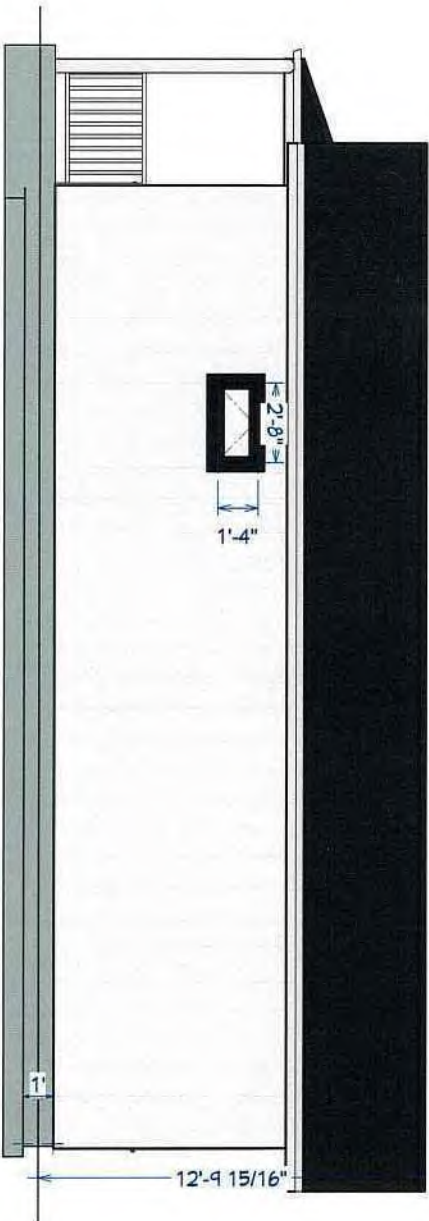
Drawing:

S104

Left Elevation



Right Elevation



Preliminary
Not for Construction
Print on 11"x17"
Scale: 1/4" = 1' - 0"

RECEIVED
APR 08 2024

Revision:

Jamie
Rodgers &
Sons

Project
Tiny Homes
Development

Sheet Title:

Client Rep:

Jamie R.

Scale:

As noted

Issue Date:

March 18 2024

Drawn By:

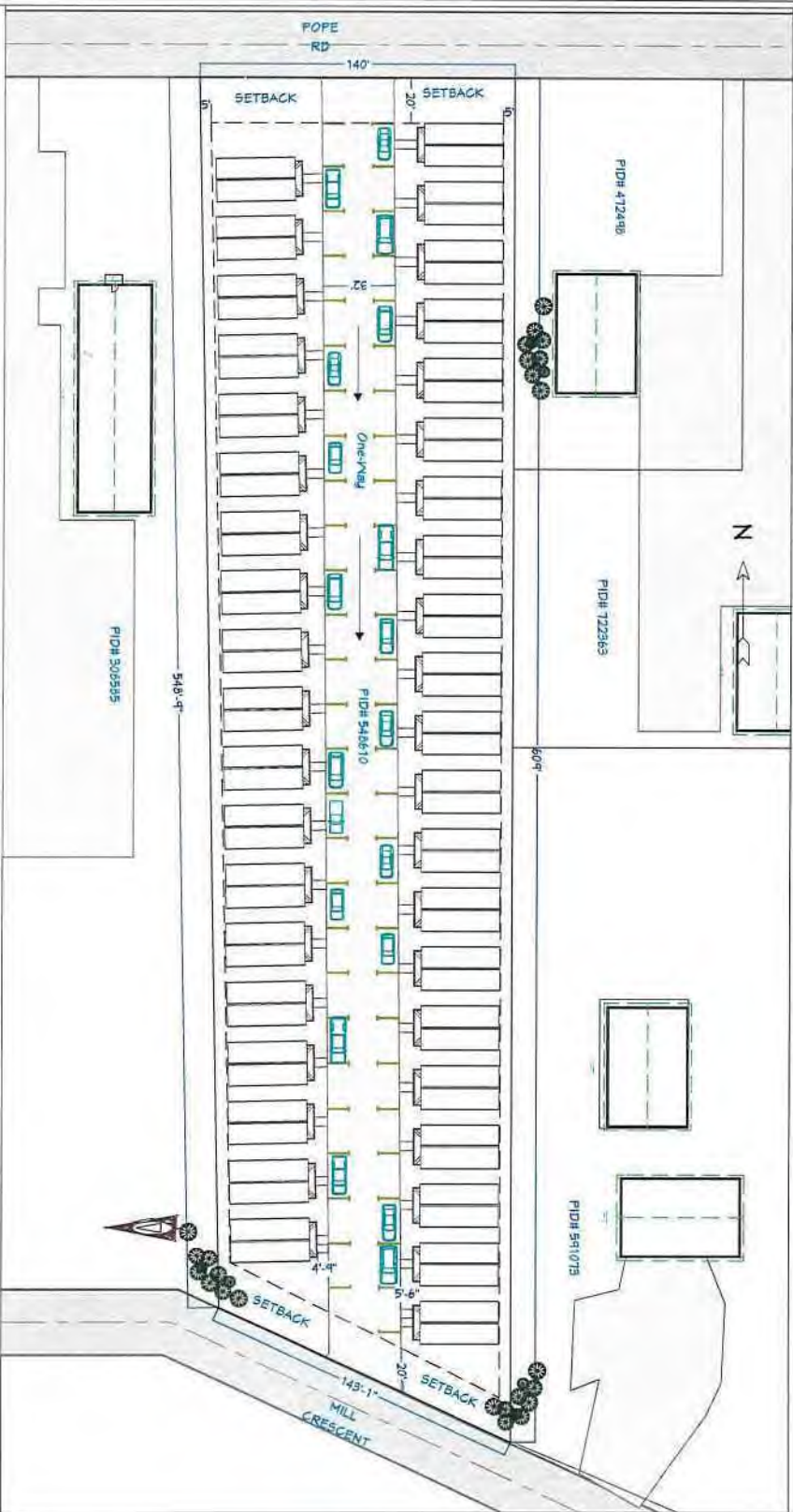
K.G.

Drawn By:

S102

NOTES:

- 1 Property line measurements are approximate and subject to professional site survey.
- 2 There are 40 homes with 53 parking spots.
- 3 Total property size is 77,900sq/ft.
18,600sq/ft of roadway(24%)
20,480sq/ft of buildings(26%)
38,820sq/ft of green space(50%)
- 4 Homes are separated 2.4 metres in accordance to Section 3.2.3.1 of NBC2015 to meet minimum fire separation. This code requires no more than 0.35m2 window area on exposed walls.



Preliminary
Not for Construction
Print on 11"x17"
Scale: 1" = 50' - 0"

From: [Jamie Rodgerson](#)

Sent: April 1, 2025 9:07:45 AM

To: [Linda Stevenson](#)

Subject: Fwd: Pope road homes

Sensitivity: Normal

Attachments:

[JR - Pope Road Tiny Homes - Preliminary - March 26 2025 - V3.pdf](#);

This is the first time you received an email from this sender (rodgersonconstruction@gmail.com). Exercise caution when clicking links, opening attachments or taking further action, before validating its authenticity.

Secured by Check Point

I forgot to send this over to you for the electrical changes. I believe all other concerns have been addressed.

----- Forwarded message -----

From: Keith Girard [REDACTED] >

Date: Wed, Mar 26, 2025, 10:11 PM

Subject: Pope road homes

To: Jamie Rodgerson <Rodgersonconstruction@gmail.com>

Cc: Keith Girard [REDACTED] >



Revision:

Jamie
Rodgerson &
Sons

Project:
Senior
Housing
Development

Revision Notes:

- Removed perforated roof soffits and replaced with soffit vents through attic space.

Documents:

S100 - Cover sheet
S101 - Site Plan
S102 - Site Plan Renderings
S103 - Floor Plan - 1 Story - 2 Bedroom - 16'x32'
S104 - Side Elevations

Preliminary
Not for Construction
Print on 11"x17"

Sheet Title:

Cover Sheet

Client Rep:

Jamie R.

Scale:

As noted

Issue Date:

March 26 2025

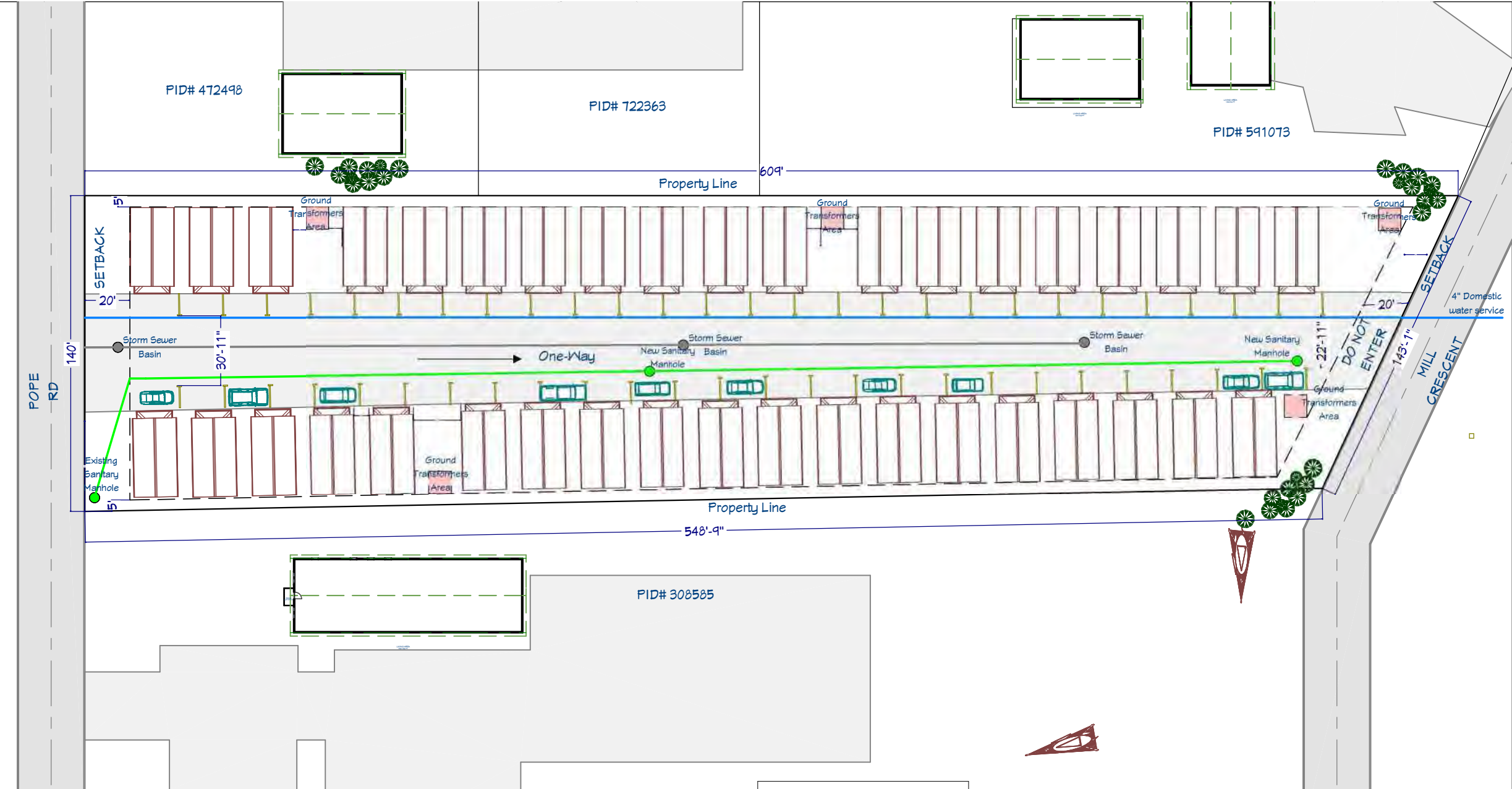
Drawn by:

K.G.

Drawing:

S100

- NOTES:
- 1 Property line measurements are approximate and subject to professional site survey.
 - 2 There are 38 homes with 52 parking spots.
 - 3 Total property size is 77,900sq/ft.
 - 18,600sq/ft of roadway(24%)
 - 20,480sq/ft of buildings(26%)
 - 38,820sq/ft of green space(50%)
 - 4 Centralized drainage to be down center of lane way.
 - 5 Four inch Domestic water service.
 - 6 Six inch sanitary service.
 - 7 Twelve inch storm sewer.



Preliminary
Not for Construction
Print on 11"x17"
Scale: 1" = 50' - 0"

Revision:
Jamie Rodgerson & Sons
Project: Senior Housing Development

Sheet Title:

Client Rep:

Jamie R.

Scale:

As noted

Issue Date:

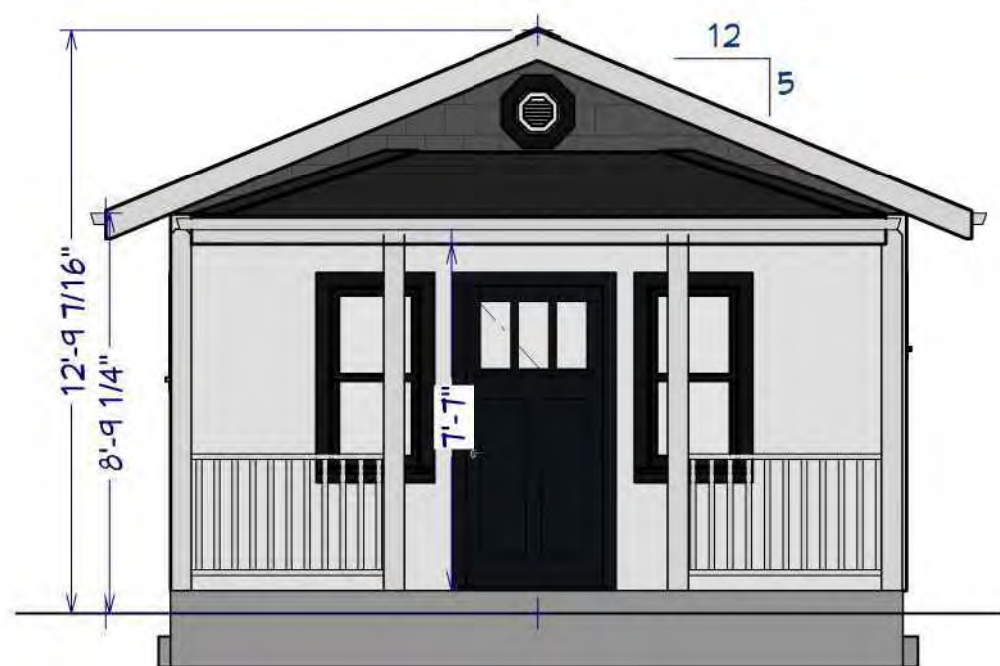
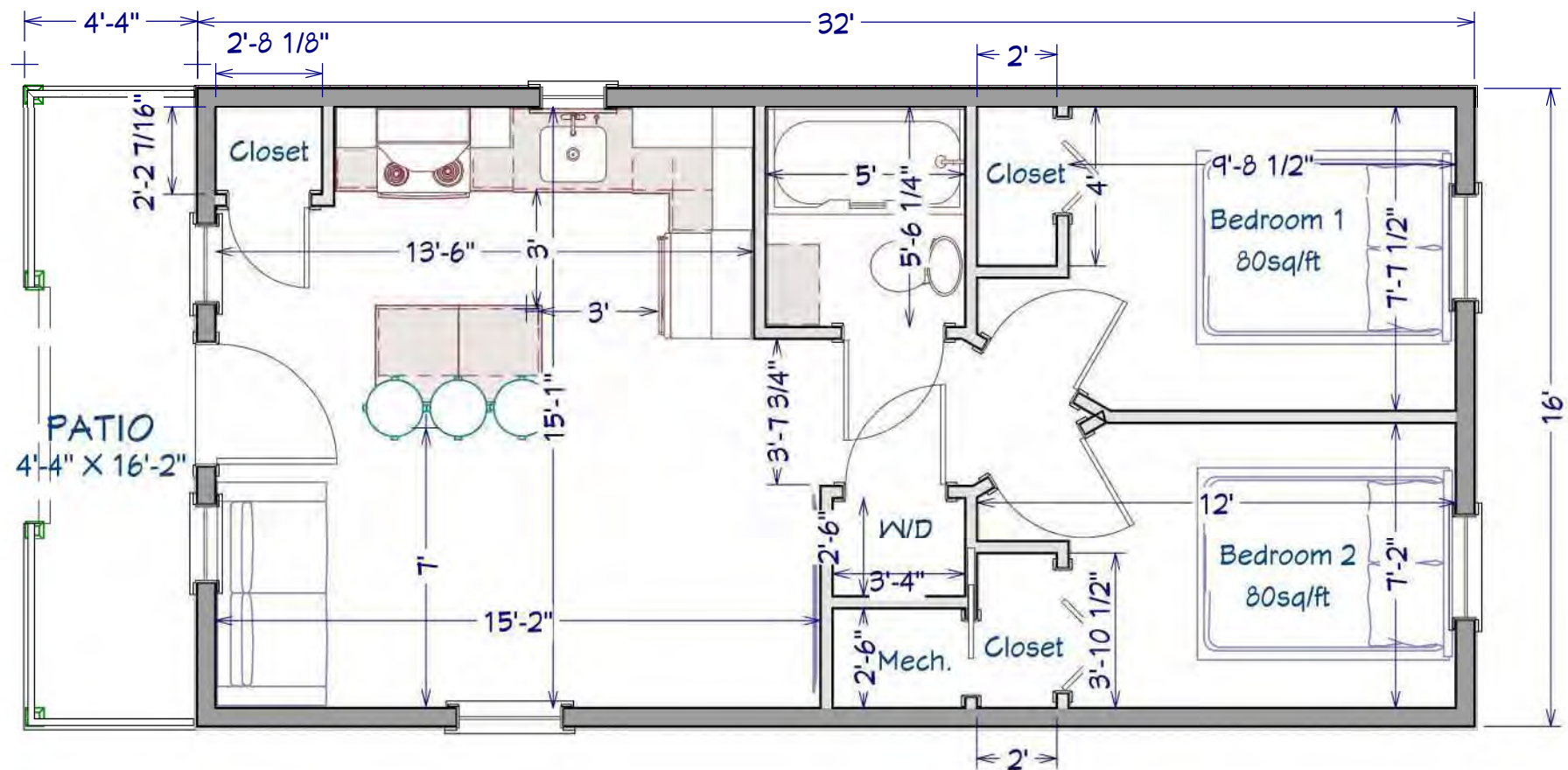
March 26 2025

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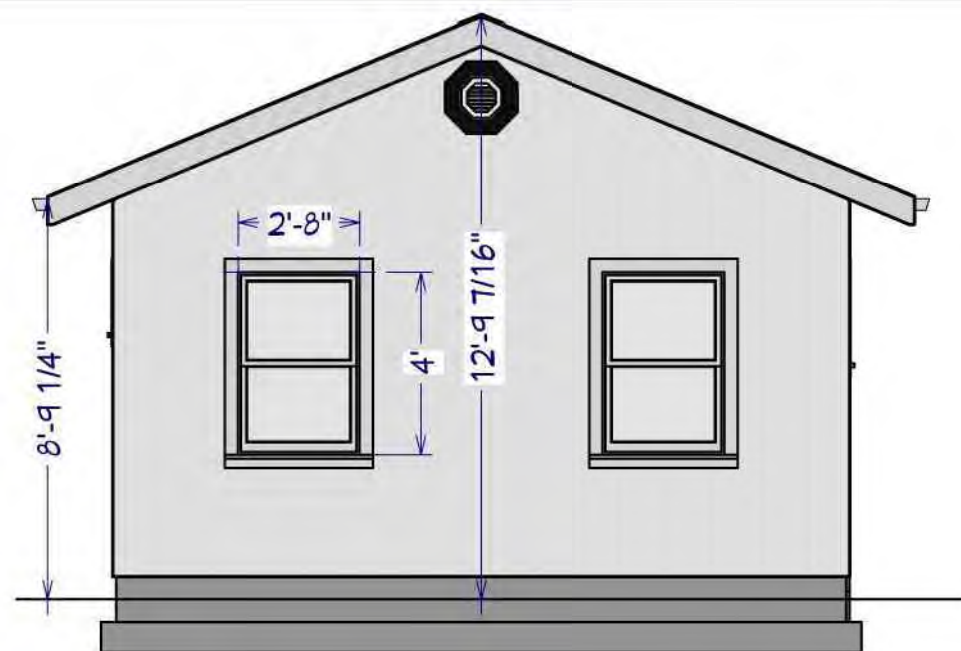
K.G.

Drawing:

S102



Front Elevation



Back Elevation

Preliminary
Not for Construction
Print on 11"x17"
Scale: 1/4" = 1' - 0"

Revision:

Jamie
Rodgers &
Sons

Project:
Senior
Housing
Development

Sheet Title:

V1 - 1 story
- 2 Bedroom
- 16x32

Client Rep:

Jamie R.

Scale:

As noted

Issue Date:

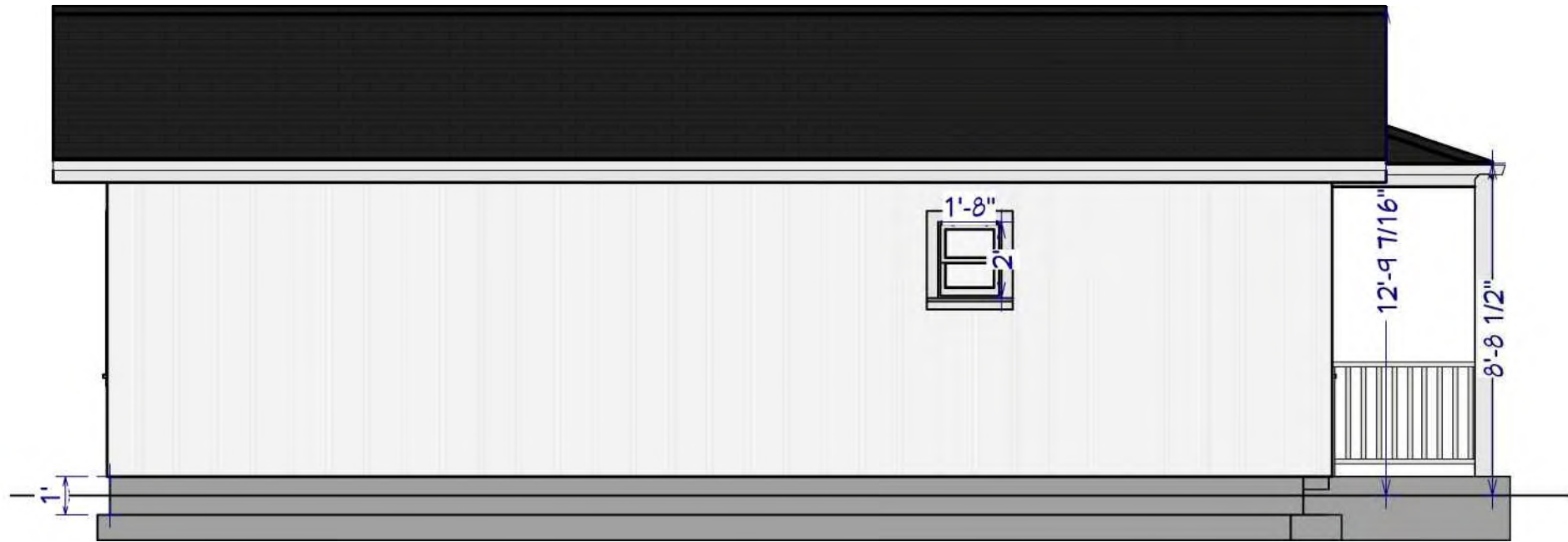
March 26 2025

Drawn by:

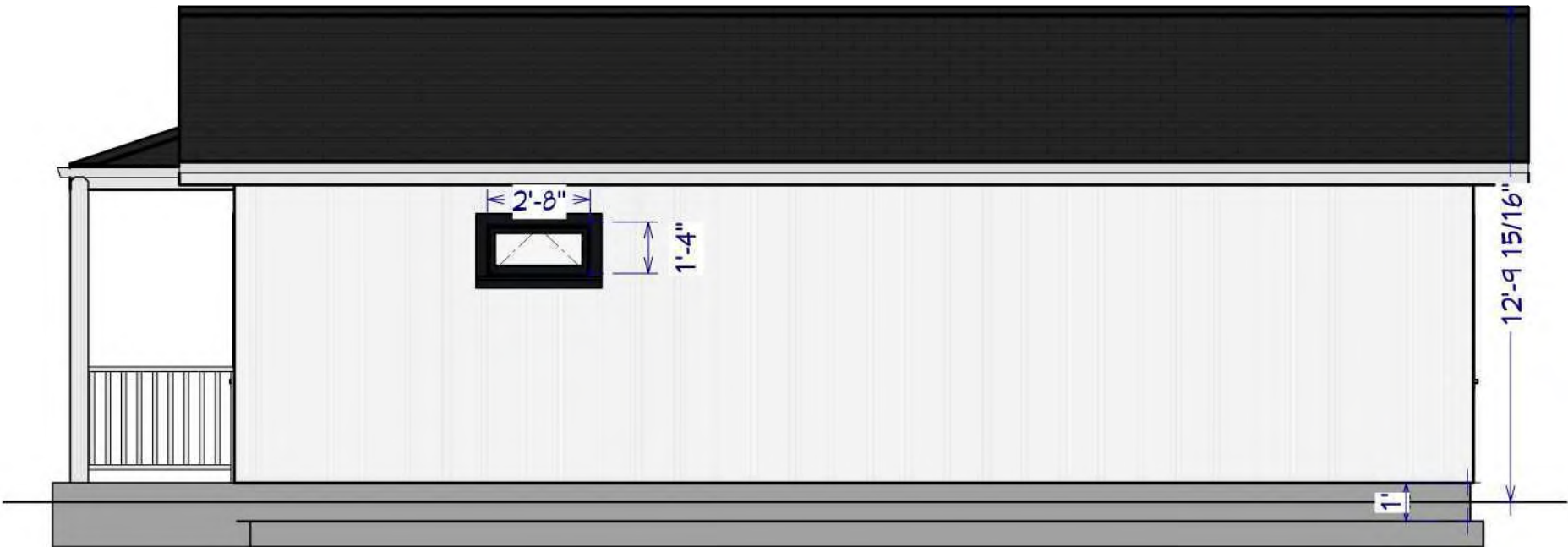
K.G.

Drawing:

S103



Left Elevation



Right Elevation

Preliminary
Not for Construction
Print on 11"x17"
Scale: 1/4" = 1' - 0"

Revision:

Jamie
Rodgers &
Sons

Project:
Senior
Housing
Development

Sheet Title:

Side
Elevations

Client Rep:

Jamie R.

Scale:

As noted

Issue Date:

March 26 2025

Drawn by:

K.G.

Drawing:

S104

From: [Megan Williams](#)
Sent: April 4, 2025 11:11:17 AM
To: rodgersonconstruction@gmail.com
Cc: [Linda Stevenson](#); [Aaron MacDonald](#)
Subject: PID 548610 - 185 Pope Road
Sensitivity: Normal

Good afternoon Jamie,

I'm the new planner for Summerside, Linda passed your request for a CDA at 185 Pope Road to me for us to chat. She's forwarded the plans and I've had a look at them, and she gave me a brief overview of what you were hoping to do. I'm available next week if you wanted to have a sit-down meeting to go over how you're hoping to develop the site in more detail, and how a CDA District could work for you.

Speak to you soon!

Megan Williams, RPP, MCIP
Planning Officer

City of Summerside
275 Fitzroy Street
Summerside, PE C1N 1H9

Direct Line: 902-432-1260
Fax: 902-436-3191
Email: megan.williams@summerside.ca
Website: www.summerside.ca

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From: [Megan Williams](#)
Sent: April 11, 2025 3:44:55 PM
To: [Jamie Rodgerson](#)
Cc: [Aaron MacDonald](#); [Linda Stevenson](#); [Cindy Bedwell](#)
Subject: 185 Pope Road PID 548610 - Tiny Home Community
Sensitivity: Normal
Attachments:
[CDA Template_185 Pope Road.docx](#) ;

Good afternoon Jamie!

For transparency's sake, the further I started diving into the development standards for your proposed tiny home community the more I realized I needed input from my co-workers & Director before asking you to provide feedback on a draft.

What I *have* done is put the skeleton of the district together. I'll ask you to take a look at it and confirm for us if there were other uses you were thinking of putting in (I can't find the sheet we marked up, I think it was just single detached & accessory buildings? I've added home based business as it's a conditional use in the manufactured home park zone as well.)

You can see the headings for the items I believe need to be covered in this district; these may change after I have a chat with the rest of the team.

Feel free to fire any questions our way. Whomever is on hand will do their best to answer them, though I suspect we won't get some real traction on this until after Linda and myself are back.

Thank you and enjoy the rest of your day!

Megan Williams, RPP, MCIP
Planning Officer

City of Summerside
275 Fitzroy Street
Summerside, PE C1N 1H9

Direct Line: 902-432-1260
Fax: 902-436-3191
Email: megan.williams@summerside.ca
Website: www.summerside.ca

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Grouped Main Building District – 185 Pope Road

21. This District shall apply to PID #548610.
21. All permitted use developments within the District shall be subject to approval by the Development Officer while discretionary uses shall be referred to Council for a decision.
21. Application for all developments in the District shall be reviewed in accordance with the guidelines and standards in Section 5 of this Bylaw and *Summerside Official Plan 2018; Building Bylaw CS-31; and Subdivision & Site Development Bylaw SS-19.*

Definitions

21. Single Detached Dwelling (Group) means two or more single detached dwellings located on the same parcel

Permitted Uses

21. Subject to bylaw requirements, the following uses shall be permitted:

Permitted Uses		
RESIDENTIAL		
accessory building	single detached dwelling (group)	

Conditional Uses

21. Subject to Development Officer approval:

Conditional Uses		
RESIDENTIAL		
home based business		

Development Standards

21. Each individual single detached dwelling (group) site shall conform with the following standards:

District		Lot area	Lot depth	Frontage	Front yard	Side Yards	Rear yard	Max. height	Flankage Yard
single detached dwelling (group)	m			13		3			
	ft								

- 21. Servicing Standards
 - Water, septic, electric.*
 - Storm water*
 - Solid waste?*
- 21. Parking standards
 - Spaces per dwelling*
- 21. Size of building (?)
 - Potentially controlled through the site sizing.*
- 21. The layout of the single detached dwelling (group) district shall conform with the following standards:
 - i. each single detached dwelling (group) shall front onto a paved service road connecting to a street R.O.W.;
 - ii. all service roads shall be a minimum of 7 m (23 ft);
 - iii. all dwellings shall have service connections to water and sewer laterals serving the park, but no dwelling shall be sited over such a lateral; and
 - iv. a private park shall be set aside in each manufactured home park, computed on the basis of 18 m² (193.7 sq ft) for each mobile home space or parkland cash in-lieu calculated as per the Summerside Subdivision & Site Development Bylaw SS-19.
- 21. Notwithstanding Section 8.9, more than one main building is permitted on a lot.

Megan Williams

From: Jamie Rodgerson <rodgersonconstruction@gmail.com>
Sent: April 11, 2025 4:25 PM
To: Megan Williams
Subject: Re: 185 Pope Road PID 548610 - Tiny Home Community

Hey Megan,

The only thing we talked about was possibly removing a few units on the mill crres side in the event we did some tenant storage.

Other than that it would be all the tiny homes.

Jamie

On Fri, Apr 11, 2025, 2:45 PM Megan Williams <megan.williams@city.summerside.pe.ca> wrote:
Good afternoon Jamie!

For transparency's sake, the further I started diving into the development standards for your proposed tiny home community the more I realized I needed input from my co-workers & Director before asking you to provide feedback on a draft.

What I *have* done is put the skeleton of the district together. I'll ask you to take a look at it and confirm for us if there were other uses you were thinking of putting in (I can't find the sheet we marked up, I think it was just single detached & accessory buildings? I've added home based business as it's a conditional use in the manufactured home park zone as well.)

You can see the headings for the items I believe need to be covered in this district; these may change after I have a chat with the rest of the team.

Feel free to fire any questions our way. Whomever is on hand will do their best to answer them, though I suspect we won't get some real traction on this until after Linda and myself are back.

Thank you and enjoy the rest of your day!

Megan Williams, RPP, MCIP
Planning Officer

City of Summerside
[275 Fitzroy Street](#)
[Summerside, PE C1N 1H9](#)

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Linda Stevenson

From: Jamie Rodgerson <rodgersonconstruction@gmail.com>
Sent: Tuesday, May 20, 2025 3:05 PM
To: Megan Williams
Cc: Linda Stevenson
Subject: Re: 185 Pope Road PID 548610 - Tiny Home Community

Hey guys,

Hope you both enjoyed your vacations, Just touching base with you on my proposed development. Its been about 6 weeks and I just want to see where this lies, I was hoping to have this before council by this time.

Let me know!

Thank you Jamie

On Fri, Apr 11, 2025, 3:45 PM Megan Williams <megan.williams@city.summerside.pe.ca> wrote:
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Megan Williams, RPP, MCIP
Planning Officer

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From: [Megan Williams](#)
Sent: May 22, 2025 8:35:26 AM
To: [Jamie Rodgerson](#)
Cc: [Linda Stevenson](#)
Subject: Re: 185 Pope Road PID 548610 - Tiny Home Community
Sensitivity: Normal

Hey Jamie!

Yes, our holidays were both wonderful! Unfortunately I came home sick as a dog but I'm feeling ship shape now. Thank you for your patience, our Building Officer is on holidays this week, I'll have a chat with him next week to confirm building setbacks; I believe it's 2m.

Once I have it finished I'll send it your way for the final look through, and we'll talk about the schedule for going to Council and planning board.

If you have any questions just give a shout!

Megan Williams, RPP, MCIP
Planning Officer

City of Summerside
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Summerside, PE C1N 1H9

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Sent: Tuesday, May 20, 2025 3:05 PM
To: Megan Williams <megan.williams@city.summerside.pe.ca>
Cc: Linda Stevenson <linda.stevenson@city.summerside.pe.ca>
Subject: Re: 185 Pope Road PID 548610 - Tiny Home Community

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Let me know!

Thank you Jamie

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You can see the headings for the items I believe need to be covered in this district; these may change after I have a chat with the rest of the team.

Feel free to fire any questions our way. Whomever is on hand will do their best to answer them, though I suspect we won't get some real traction on this until after Linda and myself are back.

Thank you and enjoy the rest of your day!

Megan Williams, RPP, MCIP

Planning Officer

City of Summerside

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From: [Megan Williams](#)

Sent: May 27, 2025 2:00:28 PM

To: [Linda Stevenson](#); [Aaron MacDonald](#); [Tony Gallant](#); [Gary McInnis](#); [Mike Straw](#)

Subject: Fw: 185 Pope Road

Sensitivity: Normal

Attachments:

[Comprehensive Development Area \(CDA\) Zone.pdf](#); [185 Pope Road application.pdf](#); [185 Pope Road Preliminary Plans.pdf](#); [185 Pope Road Site Plan.pdf](#); [CDA Template_185 Pope Road.docx](#) ;

Okay cool cats. I've got the draft CDA for 185 pope road attached here. Can you pay special attention to:

- Road width; it's proposed 1 way, would it have to be 7m as below or would 3m suffice
- Servicing standards
- Building setbacks (Mike, I've included the minimum setback between each building is to be 4m.)
- Garbage removal - Linda's explained that it's pretty well all in IWM's hands. Where this development is a little different than usual, do we want to try and impose some regs? That it's to be a single big bin off Mill Cres or Pope Road or something?

I'm asking the property be landscaped; it doesn't have to be fancy, at the least I expect grass a.k.a. "ground cover buffer".

Lemme know any feedback by June 6th please! I'm planning to send it to Jamie at the end of the week so he has a chance to review too.

Megan Williams, RPP, MCIP

Planning Officer

City of Summerside

275 Fitzroy Street

Summerside, PE C1N 1H9

Direct Line: 902-432-1260

Fax: 902-436-3191

Email: megan.williams@summerside.ca

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From: Linda Stevenson <linda.stevenson@city.summerside.pe.ca>

Sent: Monday, May 13, 2024 3:42 PM

To: Jamie Rodgers <rodgersonconstruction@gmail.com>

Cc: Aaron MacDonald <aaron.macdonald@city.summerside.pe.ca>; Thayne Jenkins

<Thayne.Jenkins@city.summerside.pe.ca>

Subject: 185 Pope Road

Jamie

Thanks for your submission for housing development at 185 Pope Road. I apologize for not getting back to you sooner, I was of the understanding that the following comments were sent to you and pending your review, direction and your fee submission of \$600 (\$300 for Official Plan amendment and \$300 for Zoning amendment). The amendments do not commence until the fees have been paid.

Please review to address the matters or concerns noted as follows:

Land Use/Zoning - We don't have a current residential zone with development standards to accommodate the proposed development. CDA appears to be the best suited to accommodate this proposed development. Please review the following comments, and advise if you wish to proceed with CDA zoning (see attached). There is a \$600 fee due prior to proceeding with the public process of amending the Official Plan and the zoning bylaw.

Water/Sewer:

The water main is to be looped between Pope Road and Mill Crescent. The City will take ownership of this once the system is in place to the city standards and has passed all required testing.

The sewer system for this developments first option is to drain to Pope Road as there is no sewer main fronting the property on Mill Crescent. The Developer will have to ensure there is sufficient grade for this to service all structures. Pope Road sewer invert 24.48, Mill Crescent ground elevation 25.

If the sewer main on Mill Crescent needs to be extended to facilitate this development (second option), it would be at the developers cost.

Site Drainage/Access:

A site drainage plan would be needed.

An access culvert will be needed for mill crescent. At the developers cost.

There is curb and gutter on Pope Road which will need Access changes. Developers cost

An allowance for the new active transportation along Pope road behind the existing curb will also need to be accommodated.

Driving lane width to be 7 m width. To allow for service vehicles and garbage pickup.

The access is a private drive and will need one way and do not enter signage at the appropriate ends. Lane way to be marked private drive.

For Electric Utility:

- Zoning change is fine for electrical if developer can allocate space for needed infrastructure, Utility power is available for a development in this location from either Pope Rd or Mill Crescent.
- As the space from road to building is only 5ft this is not enough space for utility poles and overhead powerlines. Developer will be required to design and construct underground power network of high/low voltage cable (and telecoms). See recently constructed Dory View subdivision as example (attached). This will need to be design coordinated with utility water/sewer/storm and other infrastructure needs. Buildings may need to push further back from street, or larger gaps between some buildings to make space for all the needed equipment. Developer and their designer should book a meeting with Summerside Electric to discuss more detailed electrical plans if/when proceeding.

Building:

Please note, while the information provided is for a rezoning application, there are some errors noted in regards to the building.

Drawing S102 Note 4: *"Homes are separated 2.4 meters in accordance to Section 3.2.3.1 of NBC 2015 to meet minimum fire separation. This code requires no more than 0.35m² window area on exposed walls."*

This information is incorrect. The reference section is 9.10.15.4 of the 2020 edition of the NBC. The limiting distance is taken from a centerline between the two dwellings, so at 2.4m the limiting distance is 1.2m. Based on the exposed wall

size of 23.8m², Table 9.10.15.4 shows a maximum allowed glazing area (inc rough openings) of 7% which would be a maximum glazing area of 1.66m² as opposed to the 0.35m² stated.

Per 9.10.15.5.(11) the roof soffits will be required to have no openings and be protected per the method noted in the article, the plans for building permit will need to state how roof ventilation will be provided without using the soffits.

The width of the lane for fire trucks is outside the NBC in this case but usually the requirement is 6m minimum.

Should you wish to proceed, please submit your fees and I will begin the public notification process and advise you of the public meeting date/time.

Regards,
Linda

Linda Stevenson
Development Officer, City of Summerside
275 Fitzroy Street
Summerside, PE C1N 1H9
Phone: 902-432-1270

Comprehensive Development Area (CDA) zone

21.1 The purpose of this zone is to facilitate innovative developments for realizing the best use or mix of compatible uses of particular sites.

CDA Zone

21.2 Subject to Council's approval of a comprehensive development plan for uses appropriate to the development site and surrounding area:

- mixes of residential, commercial, institutional, parkland, special or conservation uses;
- mixes of housing types and densities;
- innovative development concepts such as cluster, zero lot line, flag lot and integrated residential/recreational layouts.

21.3 Development Standards

Council may tailor development standards in each CDA zone to meet the needs of innovative development concepts and particular site conditions. Council may also allow some flexibility respecting alternative servicing methods, provided their performance meets or exceeds that which would be achieved by engineering standards normally applied under the Summerside *Subdivision Bylaw & Site Development Bylaw SS-19*.

Minimum CDA Zoning Requirements

Council may approve a CDA zoning application provided that the following requirements are met:

- a. The proposed development cannot be accommodated readily in another zone or zones.
- b. The proposed development of the site is consistent with Official Plan policies and if necessary amends the Official Plan (Future Land Use Plan) map.

21.4 The procedures for a CDA zoning application are set out in Section 5.10 of this bylaw. In addition, the following information is required to process a CDA application:

- a. The applicant shall submit a comprehensive development plan for Council's consideration in a form acceptable to the Development Officer, including the

following information:

- i. boundaries of the site;
 - ii. proposed land uses, including any parkland dedications;
 - iii. proposed subdivision and road layouts;
 - iv. proposed building sites and massing;
 - v. proposed types, densities and numbers of buildings;
 - vi. proposed development standards;
 - vii. proposed servicing concepts; and
 - viii. any other information required by the Development Officer.
- b. Council shall normally only approve a CDA official plan and zoning amendment based on the approved comprehensive development plan for the entire site. In special circumstances where development will be phased over a period of time, Council may initially approve a general concept plan for the entire site and, then, may approve a more detailed comprehensive development plan and a zoning amendment for each separate phase of development.
- c. All development within a CDA site shall comply with the approved comprehensive development plan for the site, as well as with any applicable requirements of this Bylaw and of other City and Provincial regulations.
- d. The Development Officer may approve technical revisions to a Council approved comprehensive development plan respecting minor changes to the siting of buildings or lot lines which do not impact on the plan's overall integrity. All proposed plan revisions other than those approved by the Development Officer shall be referred to Council for their approval or denial.

Park Levies

- 21.5** In the case of a residential subdivision within a CDA, park levies shall normally apply as under the Summerside Subdivision Bylaw.

185 Pope Road application.pdf

Official Plan/Zoning Bylaw Amendment Application

Applicant's name JAMIE RODGERSON
 Property owner's name HARLOR HOLDINGS INC
 Civic address (address of permit) PID 548610 LOCATED IN BETWEEN 169-171 POPE RD.
 Mailing Address (if different) 106 HALKE DRIVE, C1N 5H3 SUMMERSIDE PE
 Primary phone 902-315-4422 Secondary phone _____
 Email address rodgersonconstruction@gmail.com
 Property number PID 548610 Lot number _____



Amendment:
☐ Official Plan ☒ Zoning

Description of Project:

I AM APPLYING TO REZONE MY LAND TO ACCOMMODATE
A SENIOR HOUSING DEVELOPMENT. PLEASE FIND ATTACHED
THE PROPOSED PLANS.

MY LAND IS CURRENTLY ZONED M-1, I WOULD
BE LOOKING FOR REZONING + SPECIAL USE FOR MY
PROPERTY. THE DESIGNS ARE TO NATIONAL FIRE STANDARDS +
BUILDING CODES.

PROPERTIES TO BE RENTED INDIVIDUALLY.

I DO SOLEMNLY DECLARE:

1. That I am the Owner, or the Authorized Agent of the Owner, named in the application for a permit hereto attached.
2. That the statements contained in this application are true and made with full knowledge of the circumstances connected with the same.
3. That the site plans submitted correctly set out the dimensions and the area of the lands described in the application, and the relation of the location of the proposed building to the street and property line.
4. That I know of no reason why the permit should not be granted to me in pursuance of the said application, and making this declaration conscientiously believing it to be true.
5. I waive all rights or action against the City of Summerside and/or its officers, agents, or employees in respect to negligence or any damages which may be caused through the enforcement of any provision or provisions in any of the City Bylaws or for the revoking of a permit for any cause or irregularity of nonconformity with the Bylaws or regulations adopted by the City of Summerside.

Signature of Owner/Agent

Date

APR 18th 2024



Revision:

Jamie
Rodgersen &
Sons

Project:
Tiny Homes
Development

Sheet Title:

Cover Sheet

Client Rep:

Jamie R.

Scale:

As noted

Issue Date:

March 18 2024

Drawn By:

K.G.

Drawing:

S100

Documents:

- S100 - Cover sheet
- S101 - Site Plan
- S102 - Site Plan Renderings
- S103 - Floor Plan - 1 Story - 2 Bedroom - 16'x32'
- S104 - Side Elevations

RECEIVED

APR 08 2024

Preliminary
Not for Construction
Print on 11"x17"

RECEIVED

APR 08 2024

Revision:

Jamie
Rodgers &
Sons

Project:
Tiny Homes
Development

Sheet Title:

V1 - 1 story
- 2 Bedroom
- 16x32

Client Rep:

Jamie R.

Scale:

As noted

Issue Date:

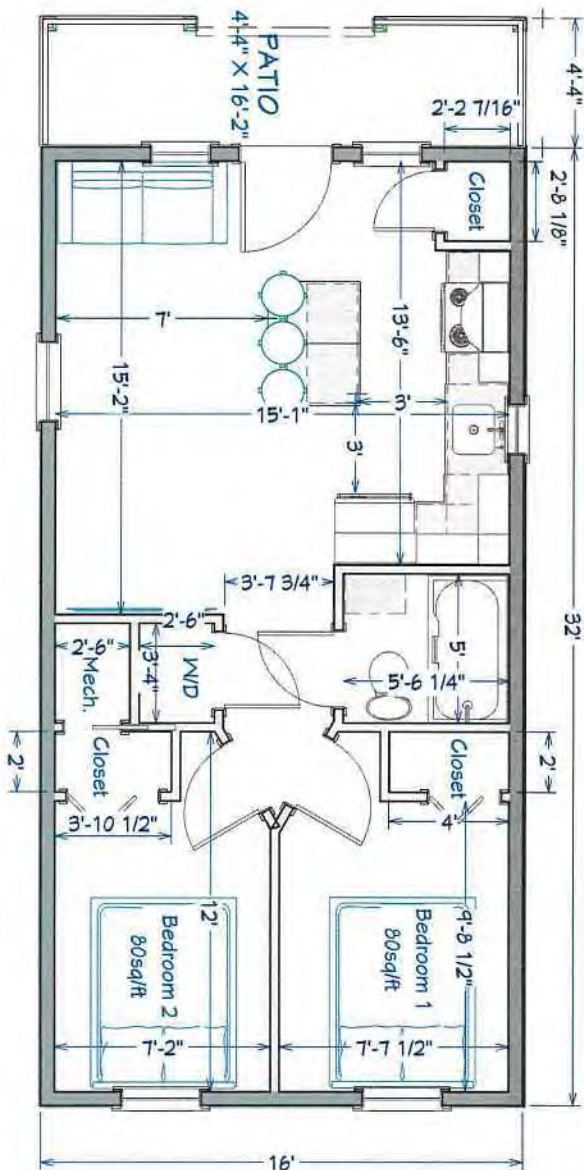
March 18 2024

Drawn By:

K.G.

Drawn By:

S103



Front Elevation

Back Elevation

Preliminary
Not for Construction
Print on 11"x17"
Scale: 1/4" = 1' - 0"

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APR 08 2024

Project
Ting Homes
Development

Revision:

Jamie
Rodgersen &
Sons

Side
Elevations

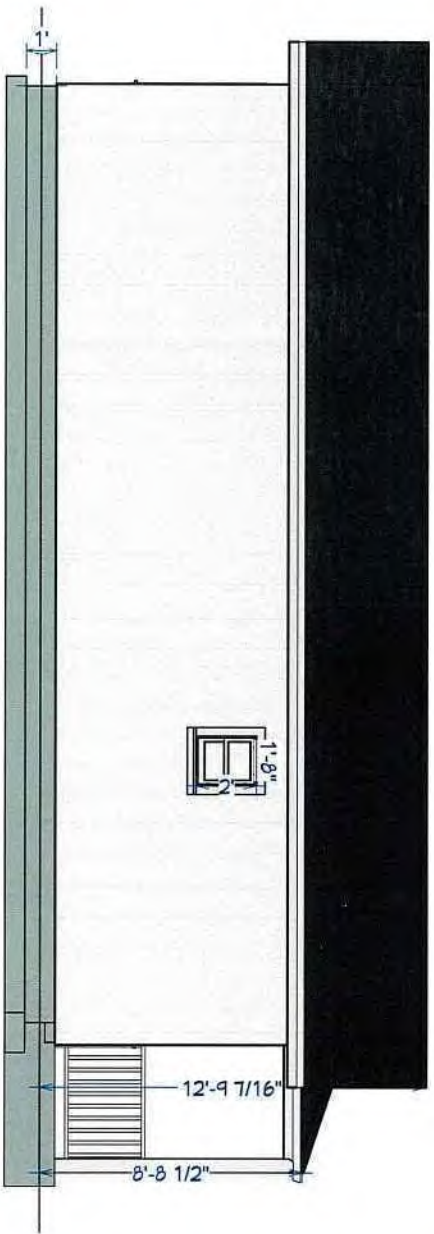
Client Rep:
Jamie R.

Scale:
As noted

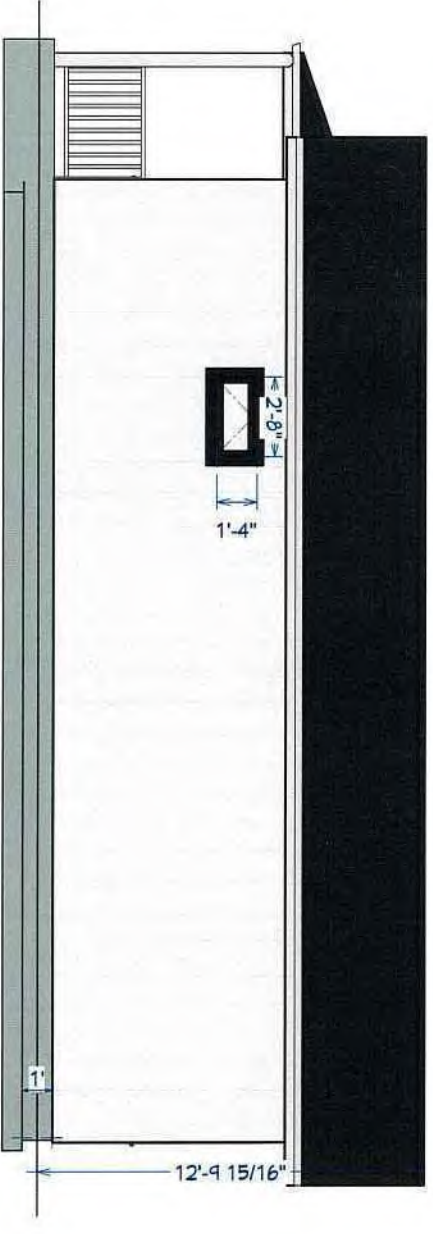
Issue Date:
March 18 2024

Drawn By:
K.G.

Drawing:
S104



Left Elevation



Right Elevation

Preliminary
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Print on 11"x17"
Scale: 1/4" = 1' - 0"

RECEIVED
APR 08 2024

Revision:

Jamie
Rodgers &
Sons

Project
Tiny Homes
Development

Sheet Title:

Client Rep:

Jamie R.

Scale:

As noted

Issue Date:

March 18 2024

Drawn By:

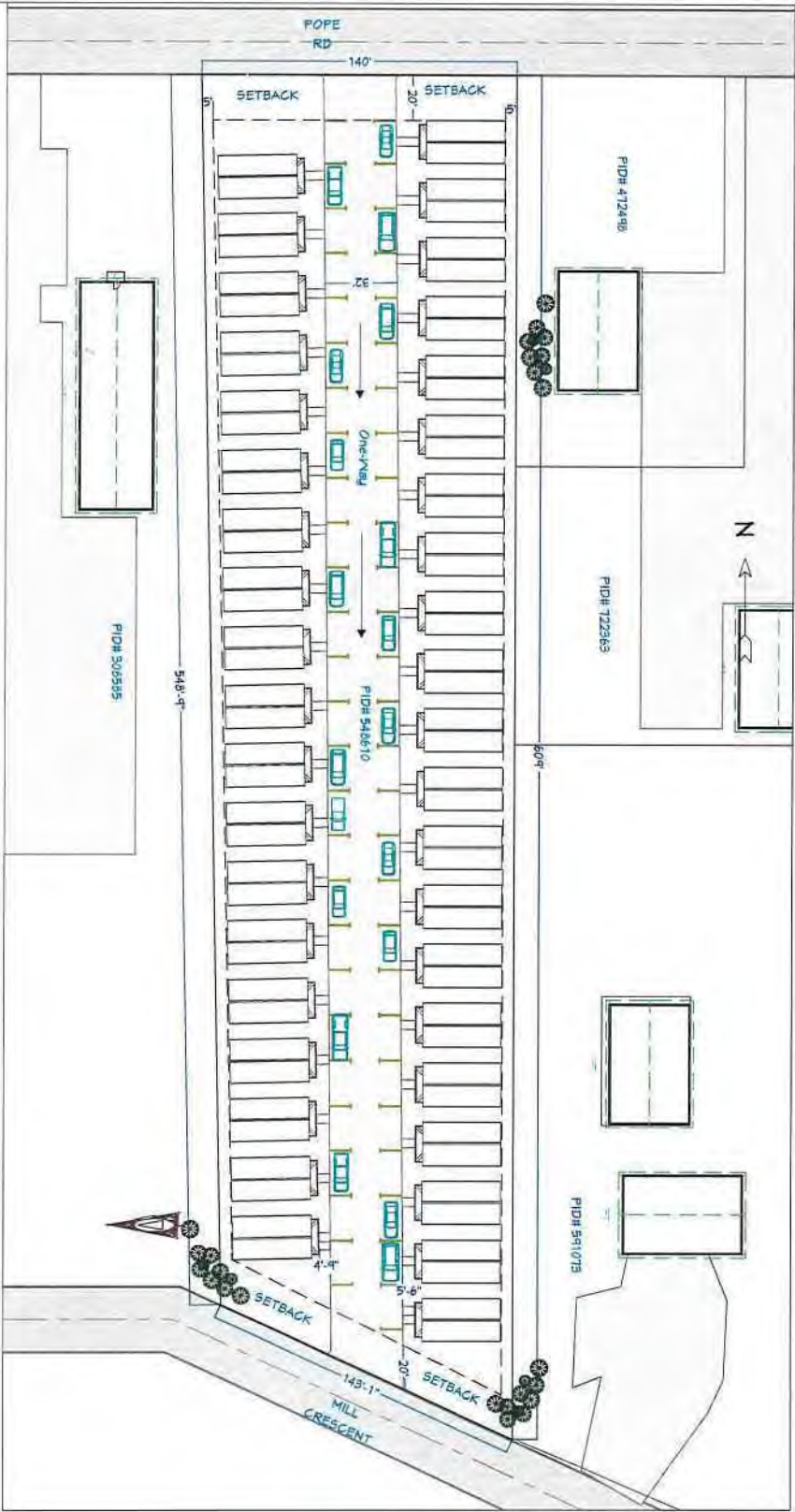
K.G.

Drawn By:

S102

NOTES:

- 1 Property line measurements are approximate and subject to professional site survey.
- 2 There are 40 homes with 53 parking spots.
- 3 Total property size is 77,900sq/ft.
18,600sq/ft of roadway(24%)
20,480sq/ft of buildings(26%)
38,820sq/ft of green space(50%)
- 4 Homes are separated 2.4 metres in accordance to Section 3.2.3.1 of NBC2015 to meet minimum fire separation. This code requires no more than 0.35m2 window area on exposed walls.



Preliminary
Not for Construction
Print on 11"x17"
Scale: 1" = 50' - 0"

Cluster Residential District – 185 Pope Road

21. All permitted use developments within the Cluster Residential District – 185 Pope Road shall be subject to approval by the Development Officer while discretionary uses shall be referred to Council for a decision.
21. Application for all developments in the Cluster Residential District – 185 Pope Road shall be reviewed in accordance with the guidelines and standards in Section 5 of this Bylaw and *Summerside Official Plan 2018; Building Bylaw CS-31*; and *Subdivision & Site Development Bylaw SS-19*.

Definitions

21. Dwelling, Cluster Residential means a group of four (4) or more single-detached residential buildings located on a single lot.

Permitted Uses

21. Subject to bylaw requirements, the following uses shall be permitted:

Permitted Uses		
RESIDENTIAL		
accessory building	dwelling, cluster residential	

Conditional Uses

21. Subject to Development Officer approval:

Conditional Uses		
RESIDENTIAL		
home based business		

Development Standards

21. Development of 185 Pope Road shall conform with the following standards, where the front yard abuts Pope Road and the rear yard abuts Mill Crescent:

Cluster Residential District		Lot area	Lot depth	Frontage	Min. Front yard	Min. Side yards	Min. Rear yard	Max. height	Min. Distance between buildings
single detached dwelling (group)	m				6	2	6	4.6	4
	ft				19.7	6.6	19.7	15	13.12

Servicing Standards

- 21.
- a) each dwelling shall front onto a paved service road connecting to a street R.O.W.;
 - b) all service roads shall be a minimum of 7 m (23 ft);
 - c) each dwelling shall have service connections to water and sewer laterals serving the lot, but no dwelling shall be sited over such a lateral;
 - d) a Drainage Plan the considers the development of the entire lot is required as part of the permit application;
 - e) *Solid waste?*

General Standards

21. One (1) parking space shall be provided per dwelling unit.
21. All portions of the lot not covered by structures, parking or traffic circulation areas shall be landscaped.
21. Notwithstanding Section 8.9, more than one main building is permitted on a lot within this CDA – Cluster Residential District – 185 Pope Road.

From: [Gary McInnis](#)

Sent: May 28, 2025 8:31:00 AM

To: [Megan Williams](#)

Subject: RE: 185 Pope Road

Sensitivity: Normal

Is this a private Street ? or to be take over i.e. maintenance and plowing by the City.?

As a private street.

It will need to be signed as private street mane and one way street signs as well as

Do not enter signs on the South end to notify the direction of travel.

To be maintained by the developer as well as stop signs on the South end.

All maintenance is by the developer.

Access width

Width showing from your comments and sketch is 3m lane with 2 parking isles at 3.3 m approx.. each

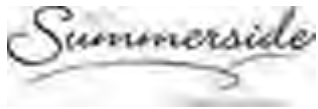
recommend for Private lane way use

3.6 m width thru lane one way . (Better for Fire truck to navigate and or Van trailers)

Parking 2@ 3.10m each

Total of 9.5 m (32) (=/-)

Storm drainage plan required for the parcel.



Gary McInnis

Assistant Municipal Engineer

City of Summerside

Technical services Department

3rd floor , City Hall

275 Fitzroy street

Summerside, PEI

C1N 1H9

phone 902 439 4322

Fax 902 436 3191

e-mail gary.mcinnis@city.summerside.pe.ca

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From: Megan Williams <megan.williams@city.summerside.pe.ca>

Sent: Tuesday, May 27, 2025 2:00 PM

To: Linda Stevenson <linda.stevenson@city.summerside.pe.ca>; Aaron MacDonald

<aaron.macdonald@city.summerside.pe.ca>; Tony Gallant <Tony.Gallant@city.summerside.pe.ca>; Gary McInnis

<gary.mcinnis@city.summerside.pe.ca>; Mike Straw <mike.straw@city.summerside.pe.ca>

Subject: Fw: 185 Pope Road

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Lemme know any feedback by June 6th please! I'm planning to send it to Jamie at the end of the week so he has a chance to review too.

Megan Williams, RPP, MCIP

Planning Officer

City of Summerside

275 Fitzroy Street

Summerside, PE C1N 1H9

Direct Line: 902-432-1260

Fax: 902-436-3191

Email: megan.williams@summerside.ca

Website: www.summerside.ca

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the error and destroy the original message, without making a copy. Thank you.

From: Linda Stevenson <linda.stevenson@city.summerside.pe.ca>
Sent: Monday, May 13, 2024 3:42 PM
To: Jamie Rodgerson <rodgersonconstruction@gmail.com>
Cc: Aaron MacDonald <aaron.macdonald@city.summerside.pe.ca>; Thayne Jenkins <Thayne.Jenkins@city.summerside.pe.ca>
Subject: 185 Pope Road

Jamie

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Should you wish to proceed, please submit your fees and I will begin the public notification process and advise you of the public meeting date/time.

Regards,

Linda

Linda Stevenson

Development Officer, City of Summerside

275 Fitzroy Street

Summerside, PE C1N 1H9

Phone: 902-432-1270

Megan Williams

From: Megan Williams <megan.williams@summerside.ca>
Sent: May 28, 2025 8:55 AM
To: Gary McInnis
Subject: Re: 185 Pope Road

It's a private street!

I'll send your comments on/update the CDC zone, thanks Gary!

Megan Williams, RPP, MCIP
Planning Officer

City of Summerside
275 Fitzroy Street
Summerside, PE C1N 1H9

Direct Line: 902-432-1260
Fax: 902-436-3191
Email: megan.williams@summerside.ca
Website: www.summerside.ca

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From: Gary McInnis <gary.mcinnis@city.summerside.pe.ca>
Sent: Wednesday, May 28, 2025 8:31 AM
To: Megan Williams <megan.williams@city.summerside.pe.ca>
Subject: RE: 185 Pope Road

Is this a private Street ? or to be take over i.e. maintenance and plowing by the City.?

As a private street.

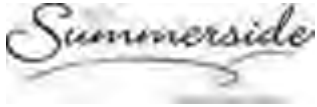
It will need to be signed as private street mane and one way street signs as well as
Do not enter signs on the South end to notify the direction of travel.
To be maintained by the developer as well as stop signs on the South end.
All maintenance is by the developer.

Access width

Width showing from your comments and sketch is 3m lane with 2 parking isles at 3.3 m approx.. each

recommend for Private lane way use
3.6 m width thru lane one way . (Better for Fire truck to navigate and or Van trailers)
Parking 2@ 3.10m each
Total of 9.5 m (32) (=/-)

Storm drainage plan required for the parcel.



Gary McInnis
Assistant Municipal Engineer
City of Summerside
Technical services Department

3rd floor , City Hall

275 Fitzroy street

Summerside, PEI

C1N 1H9

phone 902 439 4322

Fax 902 436 3191

e-mail gary.mcinnis@city.summerside.pe.ca

Statement of Confidentiality

This message (including attachments) may contain confidential or privileged information intended for a specific individual or organization. If you have received this communication in error, please notify the sender immediately. If you are not the intended recipient, you are not authorized to use, disclose, distribute, copy, print or rely on this email, and should promptly delete this email from your entire computer system.

Déclaration de confidentialité

Le présent message (y compris les annexes) peut contenir des renseignements confidentiels à l'intention d'une personne ou d'un organisme en particulier. Si vous avez reçu la présente communication par erreur, veuillez en informer l'expéditeur immédiatement. Si vous n'êtes pas le destinataire prévu, vous n'avez pas le droit d'utiliser, de divulguer, de distribuer, de copier ou d'imprimer ce courriel ou encore de vous en servir, et vous devriez le supprimer complètement de votre système informatique.

From: Megan Williams <megan.williams@city.summerside.pe.ca>

Sent: Tuesday, May 27, 2025 2:00 PM

To: Linda Stevenson <linda.stevenson@city.summerside.pe.ca>; Aaron MacDonald <aaron.macdonald@city.summerside.pe.ca>; Tony Gallant <Tony.Gallant@city.summerside.pe.ca>; Gary McInnis <gary.mcinnis@city.summerside.pe.ca>; Mike Straw <mike.straw@city.summerside.pe.ca>

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To: Jamie Rodgersson <rodgerssonconstruction@gmail.com>

Cc: Aaron MacDonald <aaron.macdonald@city.summerside.pe.ca>; Thayne Jenkins <Thayne.Jenkins@city.summerside.pe.ca>

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Regards,

Linda

Linda Stevenson
Development Officer, City of Summerside
275 Fitzroy Street
Summerside, PE C1N 1H9
Phone: 902-432-1270

From: [Tony Gallant](#)

Sent: May 30, 2025 2:44:00 PM

To: [Megan Williams](#); [Linda Stevenson](#); [Aaron MacDonald](#); [Gary McInnis](#); [Mike Straw](#)

Subject: RE: 185 Pope Road

Sensitivity: Normal

Hi Megan

My water and sewer comments for this CDA would be a water and sewer main construction extension agreement would be required with the following as the basis for the engineering design.

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The water system will need to be in an easement and turned over to the city upon passing all required testing as outlined in agreement

All design and construction to meet current city servicing standards

Let me know if you have any questions

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Sent: Tuesday, May 27, 2025 2:00 PM

To: Linda Stevenson <linda.stevenson@city.summerside.pe.ca>; Aaron MacDonald

<aaron.macdonald@city.summerside.pe.ca>; Tony Gallant <Tony.Gallant@city.summerside.pe.ca>; Gary McInnis

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Linda

Linda Stevenson

Development Officer, City of Summerside

275 Fitzroy Street

Summerside, PE C1N 1H9

Phone: 902-432-1270

From: [Megan Williams](#)
Sent: May 30, 2025 4:09:48 PM
To: [Jamie Rodgerson](#)
Subject: Proposed tiny home development
Sensitivity: Normal
Attachments:
[CDA Template_185 Pope Road.docx](#) ;

Good afternoon Jamie!

Please find attached your proposed comprehensive development district for your tiny home development.

I'm still waiting on feedback from all of the team (I've given them til the end of next week) but still wanted to nudge this your way so you could have a chance to review and ask questions/share concerns.

I do have a couple of FYIs for you to consider that I won't be putting into the district:

- Snow clearing. Where it's a private road, snow clearing falls to you. Where will you be placing the snow?
- Waste management. You may want to have a chat with Island Waste Management to see if they have any preferences for how solid waste is taken care of.

I also received a couple of other comments I've not figured out how to integrate into the district yet:

Servicing

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Site Drainage/Access:

A storm drainage plan would be needed.

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3.6 m width thru lane one way . (Better for Fire truck to navigate and or Van trailers)

Parking 2@ 3.10m each

Total of 9.5 m (32) (=/-)

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Have a fabulous weekend! Talk to you soon.

Megan Williams, RPP, MCIP

Planning Officer

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275 Fitzroy Street

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Direct Line: 902-432-1260

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Cluster Residential District – 185 Pope Road

21. All permitted use developments within the Cluster Residential District – 185 Pope Road shall be subject to approval by the Development Officer while discretionary uses shall be referred to Council for a decision.
21. Application for all developments in the Cluster Residential District – 185 Pope Road shall be reviewed in accordance with the guidelines and standards in Section 5 of this Bylaw and *Summerside Official Plan 2018; Building Bylaw CS-31*; and *Subdivision & Site Development Bylaw SS-19*.

Definitions

21. Dwelling, Cluster Residential means a group of four (4) or more single-detached residential buildings located on a single lot.

Permitted Uses

21. Subject to bylaw requirements, the following uses shall be permitted:

Permitted Uses		
RESIDENTIAL		
accessory building	dwelling, cluster residential	

Conditional Uses

21. Subject to Development Officer approval:

Conditional Uses		
RESIDENTIAL		
home based business		

Development Standards

21. Development of 185 Pope Road shall conform with the following standards, where the front yard abuts Pope Road and the rear yard abuts Mill Crescent:

Cluster Residential District		Lot area	Lot depth	Frontage	Min. Front yard	Min. Side yards	Min. Rear yard	Max. height	Min. Distance between buildings
single detached dwelling (group)	m				6	2	6	4.6	4
	ft				19.7	6.6	19.7	15	13.12

Servicing Standards

- 21.
- a) each dwelling shall front onto a paved service road connecting to a street R.O.W.;
 - b) all service roads shall be a one-way with a minimum of 3.6 m (11.8 ft) for the driving lane;
 - c) each dwelling shall have service connections to water and sewer laterals serving the lot, but no dwelling shall be sited over such a lateral;
 - d) a Drainage Plan the considers the development of the entire lot is required as part of the permit application.

General Standards

21. One (1) parking space shall be provided per dwelling unit.
21. All portions of the lot not covered by structures, parking or traffic circulation areas shall be landscaped.
21. Notwithstanding Section 8.9, more than one main building is permitted on a lot within this CDA – Cluster Residential District – 185 Pope Road.

From: [Megan Williams](#)
Sent: June 2, 2025 7:54:55 AM
To: [Linda Stevenson](#)
Subject: Fw: Proposed tiny home development
Sensitivity: Normal
Attachments:
[CDA Template_185 Pope Road.docx](#) ;

Sorry buddy forgot to include you in this. He's not responded yet.
M

From: Megan Williams <megan.williams@city.summerside.pe.ca>
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Total of 9.5 m (32) (=/-)

The access is a private drive and will need one way and do not enter signage at the appropriate ends. Lane way to be marked private drive.

For Electric Utility:

- Zoning change is fine for electrical if developer can allocate space for needed infrastructure, Utility power is available for a development in this location from either Pope Rd or Mill Crescent.
- As the space from road to building is only 5ft this is not enough space for utility poles and overhead powerlines. Developer will be required to design and construct underground power network of high/low voltage cable (and telecoms). See recently constructed Dory View subdivision as example (attached). This will need to be design coordinated with utility water/sewer/storm and other infrastructure needs. Buildings may need to push further back from street, or larger gaps between some buildings to make space for all the needed equipment. Developer and their designer should book a meeting with Summerside Electric to discuss more detailed electrical plans if/when proceeding.

Have a fabulous weekend! Talk to you soon.

Megan Williams, RPP, MCIP

Planning Officer

City of Summerside

275 Fitzroy Street
Summerside, PE C1N 1H9

Direct Line: 902-432-1260

Fax: 902-436-3191

Email: megan.williams@summerside.ca

Website: www.summerside.ca

This e-mail is directed in confidence solely to the persons to whom it is addressed and may not otherwise be distributed, copied, or disclosed. If you have received this e-mail in error, please reply to the sender advising of the error and destroy the original message, without making a copy. Thank you.

Cluster Residential District – 185 Pope Road

21. All permitted use developments within the Cluster Residential District – 185 Pope Road shall be subject to approval by the Development Officer while discretionary uses shall be referred to Council for a decision.
21. Application for all developments in the Cluster Residential District – 185 Pope Road shall be reviewed in accordance with the guidelines and standards in Section 5 of this Bylaw and *Summerside Official Plan 2018; Building Bylaw CS-31*; and *Subdivision & Site Development Bylaw SS-19*.

Definitions

21. Dwelling, Cluster Residential means a group of four (4) or more single-detached residential buildings located on a single lot.

Permitted Uses

21. Subject to bylaw requirements, the following uses shall be permitted:

Permitted Uses		
RESIDENTIAL		
accessory building	dwelling, cluster residential	

Conditional Uses

21. Subject to Development Officer approval:

Conditional Uses		
RESIDENTIAL		
home based business		

Development Standards

21. Development of 185 Pope Road shall conform with the following standards, where the front yard abuts Pope Road and the rear yard abuts Mill Crescent:

Cluster Residential District		Lot area	Lot depth	Frontage	Min. Front yard	Min. Side yards	Min. Rear yard	Max. height	Min. Distance between buildings
single detached dwelling (group)	m				6	2	6	4.6	4
	ft				19.7	6.6	19.7	15	13.12

Servicing Standards

- 21.
- a) each dwelling shall front onto a paved service road connecting to a street R.O.W.;
 - b) all service roads shall be a one-way with a minimum of 3.6 m (11.8 ft) for the driving lane;
 - c) each dwelling shall have service connections to water and sewer laterals serving the lot, but no dwelling shall be sited over such a lateral;
 - d) a Drainage Plan the considers the development of the entire lot is required as part of the permit application.

General Standards

21. One (1) parking space shall be provided per dwelling unit.
21. All portions of the lot not covered by structures, parking or traffic circulation areas shall be landscaped.
21. Notwithstanding Section 8.9, more than one main building is permitted on a lot within this CDA – Cluster Residential District – 185 Pope Road.

From: [Megan Williams](#)
Sent: July 7, 2025 2:06:43 PM
To: [Linda Stevenson](#)
Subject: Re: Mail merges for 232 Simmons and 185 Pope
Sensitivity: Normal

Completed by Aaron 😊

M

From: Linda Stevenson <linda@summerside.ca>
Sent: Friday, July 4, 2025 11:45 AM
To: Cindy Bedwell <cindy.bedwell@summerside.ca>
Cc: Megan Williams <megan.williams@city.summerside.pe.ca>; Aaron MacDonald <aaron@summerside.ca>
Subject: Mail merges for 232 Simmons and 185 Pope

Cindy

I spoke with Aaron, this mail merge is priority as the mail outs have to go out on Monday July 7. Please prepare the notification list for each and Megan will verify with the maps I printed.

Once Megan has verified the notification list/map, she will let you know and you can print and mail out the letters.

FYI on the 232 Simmons list, PID #71340 (Jean & Woodland Pauptit) has since been purchased by PCHF Investments Inc., send letter to PCHF Investments, not Pauptit's.

Linda

Linda Stevenson
Development Officer, City of Summerside
275 Fitzroy Street
Summerside, PE C1N 1H9
Phone: 902-432-1270

From: [Cody Dunn](#)

Sent: July 2, 2025 2:00:06 PM

To: [Megan Williams](#)

Cc: [Linda Stevenson](#)

Subject: Proposed CDA Maps - 185 Pope Rd

Sensitivity: Normal

Attachments:

[Proposed_CDA_185PopeRd_FOR_BYLAW.pdf](#); [Proposed_CDA_185PopeRd_FOR_COUNCIL.pdf](#);

Hi Megan,

Attached are the maps you requested for the proposed CDA at 185 Pope Rd (PID 548610). Let me know if you'd like to see any changes.

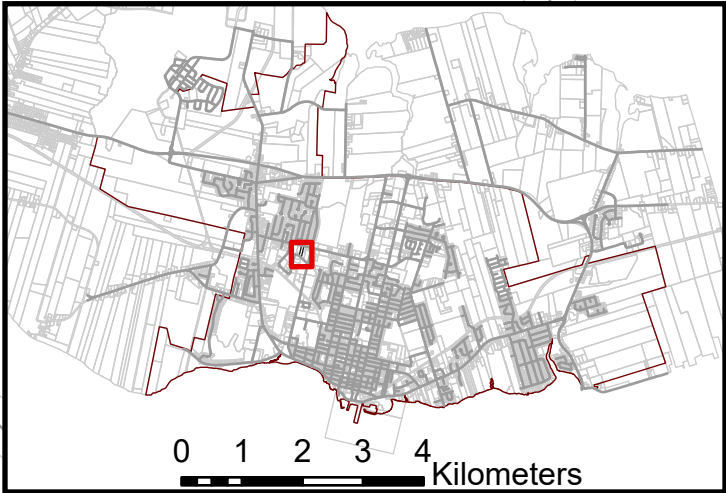
Cody

Cody Dunn | GIS Technician

City of Summerside

275 Fitzroy St, Summerside, PE C1N 1H9

T: 902-786-6462 | cody.dunn@summerside.ca



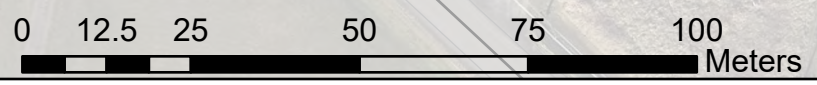
Proposed_CDA_185PopeRd_FOR_COUNCIL.pdf



POPE RD

MILL CR

GREENWOOD DR



From: [Linda Stevenson](#)
Sent: July 3, 2025 11:48:00 AM
To: [MacLean, Kelli](#)
Cc: [Megan Williams](#)
Subject: Media Ad City of Summerside
Sensitivity: Normal
Attachments:
[Public Meeting Advert.docx](#) ;

Hi Kelli

Wondering if we can get this Ad in on Saturday, July 5.

Linda

Linda Stevenson
Development Officer, City of Summerside
275 Fitzroy Street
Summerside, PE C1N 1H9
Phone: 902-432-1270

CITY OF SUMMERSIDE PUBLIC MEETING

ZONING BYLAW and OFFICIAL PLAN AMENDMENTS

Pursuant to Section 5.10 of the City of Summerside Zoning Bylaw, the City Council will hold a public meeting on **MONDAY JULY 21, 2025 at 6:00pm**, in the Council Chambers, second floor of City Hall, 275 Fitzroy Street, in order to provide property owners and residents an opportunity to review and comment on the following:

The meeting can be live streamed using the following link:

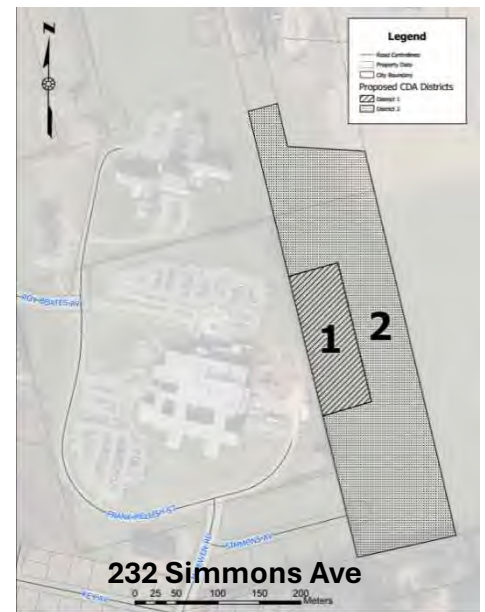
<https://bit.ly/summerside-council>

232 Simmons Ave – Comprehensive Development Area

The City of Summerside has received an application affecting 232 Simmons Ave (PIDs #1169465 and #71340). The application is proposing to amend Official Plan's Schedule 'B': "Future Land Use Map", to redesignate the subject parcels from Agriculture to Comprehensive Development Area. It is also proposing to amend the Zoning Bylaw's Schedule 'B': "Zoning Map" for the purpose of rezoning the subject parcels from Agricultural zone to Comprehensive Development Area.

District 1 is proposed to be a medical facility that will contain dwelling units, a post secondary school, a daycare, and other ancillary uses.

District 2 is proposed to be medium to high density residential uses.



185 Pope Road – Comprehensive Development Area

The City of Summerside has received an application affecting 185 Pope Road (PID #548610). The applicant is proposing to amend Official Plan's Schedule 'B': "Future Land Use Map", redesignating the subject parcel from Industrial to Comprehensive Development Area. It is also proposing to amend the Zoning Bylaw's Schedule 'B': "Zoning Map" to rezone the subject parcel from Light Industrial Zone to Comprehensive Development Area. The amendments are being requested to allow for multiple single detached dwellings on one parcel.



Individuals wishing to comment in writing are invited to send them to Linda Stevenson, Development Officer 275 Fitzroy Street, Summerside PE, C1N 1H9, or you may drop them off in person at Technical Services, 3rd Floor City Hall, or by email to linda.stevenson@summerside.ca

THE PUBLIC IS ENCOURAGED TO ATTEND

Megan Williams

From: MacLean, Kelli <kmacLean@postmedia.com>
Sent: July 3, 2025 12:00 PM
To: Linda Stevenson
Cc: Megan Williams
Subject: Re: Media Ad City of Summerside

You don't often get email from kmaclean@postmedia.com. [Learn why this is important](#)

Hi Linda,

I was just able to get this in. I will send you a proof when I get it back.

Kelli MacLean

Client Services Consultant



C 902.210.5094
kmaclean@postmedia.com
PostmediaSolutions.com

From: Linda Stevenson <linda@summerside.ca>
Sent: Thursday, July 3, 2025 11:48 AM
To: MacLean, Kelli <kmaclean@postmedia.com>
Cc: Megan Williams <megan.williams@city.summerside.pe.ca>
Subject: Media Ad City of Summerside

Hi Kelli

Wondering if we can get this Ad in on Saturday, July 5.

Linda

Linda Stevenson
Development Officer, City of Summerside
275 Fitzroy Street
Summerside, PE C1N 1H9
Phone: 902-432-1270

From: [Linda Stevenson](#)

Sent: July 4, 2025 11:45:00 AM

To: [Cindy Bedwell](#)

Cc: [Megan Williams](#); [Aaron MacDonald](#)

Subject: Mail merges for 232 Simmons and 185 Pope

Importance: High

Sensitivity: Normal

Attachments:

[185_Pope_Rd.txt](#) ;[232_Simmons_notification_list.txt](#) ;[185 Pope Road notification letter & insert.docx](#) ;[232 Simmons Ave notification letter & insert.docx](#) ;

Cindy

I spoke with Aaron, this mail merge is priority as the mail outs have to go out on Monday July 7. Please prepare the notification list for each and Megan will verify with the maps I printed.

Once Megan has verified the notification list/map, she will let you know and you can print and mail out the letters.

FYI on the [REDACTED]) has since been purchased by PCHF Investments Inc., send letter to PCHF Investments, not Paupit's.

Linda

Linda Stevenson
Development Officer, City of Summerside
275 Fitzroy Street
Summerside, PE C1N 1H9
Phone: 902-432-1270

185_Pope_Rd.txt



[illegible]

[illegible]

NOT RELEVANT

185 Pope Road notification letter & insert.docx

July 3, 2025

Property Owner:

PID #

Re: 185 Pope Road – Official Plan and Zoning Bylaw Amendment

The City of Summerside has received an application from Harcor Holdings Inc. for PID #548610 (See map enclosed) to amend the *Official Plan's* Future Land Use Map to redesignate the subject parcel from Industrial to Comprehensive Development Area. The application also proposed to amend the *Zoning Bylaw's* Zoning Map to rezone the subject parcel from Light Industrial (M1) to Comprehensive Development Area (CDA).

The amendments are being requested to allow for the development of multiple single detached dwellings on the subject parcel.

Under the zoning bylaw, all property owners within 60 meters of the boundaries of the subject property, shall be notified in writing at least 7 clear days prior to the public meeting. A public meeting before City Council is scheduled for **MONDAY, JULY 21, 2025 at 6:30pm**, in the Council Chambers, 275 Fitzroy Street. This meeting will be held to receive public comments concerning this application.

The meeting can be viewed via live stream using the following link: <https://bit.ly/summerside-council>

If you require additional information please contact the Development Officer at 902-432-1270 or by email linda.stevenson@city.summerside.pe.ca

Yours truly,



Linda Stevenson
Development Officer

- c. JP Desrosiers, Acting Chief Administrative Officer
- Aaron MacDonald, Director of Technical Services Department



Map showing location of 185 Pope Road, PID #548610

NOT RELEVANT

From: [Cindy Bedwell](#)

Sent: July 7, 2025 3:34:35 PM

To: [Linda Stevenson](#)

Cc: [Megan Williams](#); [Aaron MacDonald](#)

Subject: Mail outs July 7

Sensitivity: Normal

Attachments:

[185 Pope Road notification letter & insert.pdf](#); [185_Pope_Rd Notification List July 7.xlsx](#); [232 Simmons Ave notification letter & insert.pdf](#); [232_Simmons_notification_list.xlsx](#) ;

Linda,

See attached for the notification letter/attachment and list for both:

1. 185 Pope Road
2. 232 Simmons Ave.

Letters were sent out July 7th. There is also a hard copy of the above put in the respective folders.

Regards,
Cindy

Cindy Bedwell | Customer Service Representative

City of Summerside

275 Fitzroy Street, Summerside, PE C1N 1H9

T: 902-432-1262 | E: cindy@summerside.ca

CONFIDENTIALITY NOTICE. This documentation, including any attachments, transmitted by electronic mail is intended for the use of the individual to whom or the entity to which it is addressed, and may contain information, which is proprietary, confidential, privileged and/or protected from disclosure by applicable laws. Confidentiality and privilege are not lost by this documentation having been sent to the wrong electronic mail address. If you are not the intended recipient (or the person responsible for delivering thereto) please immediately notify the sender and destroy this documentation and all copies (in any form and media); and note that any distribution, reproduction or other use of this documentation is strictly prohibited and may violate public and intellectual property laws. Thank you.

185 Pope Road notification letter & insert.pdf

July 3, 2025

SEAN D. BLACQUIRERE

19 MARLEWOOD DR


PID # 592113

Re: 185 Pope Road – Official Plan and Zoning Bylaw Amendment

The City of Summerside has received an application from Harcor Holdings Inc. for PID #548610 (See map enclosed) to amend the *Official Plan's* Future Land Use Map to redesignate the subject parcel from Industrial to Comprehensive Development Area. The application also proposed to amend the *Zoning Bylaw's* Zoning Map to rezone the subject parcel from Light Industrial (M1) to Comprehensive Development Area (CDA).

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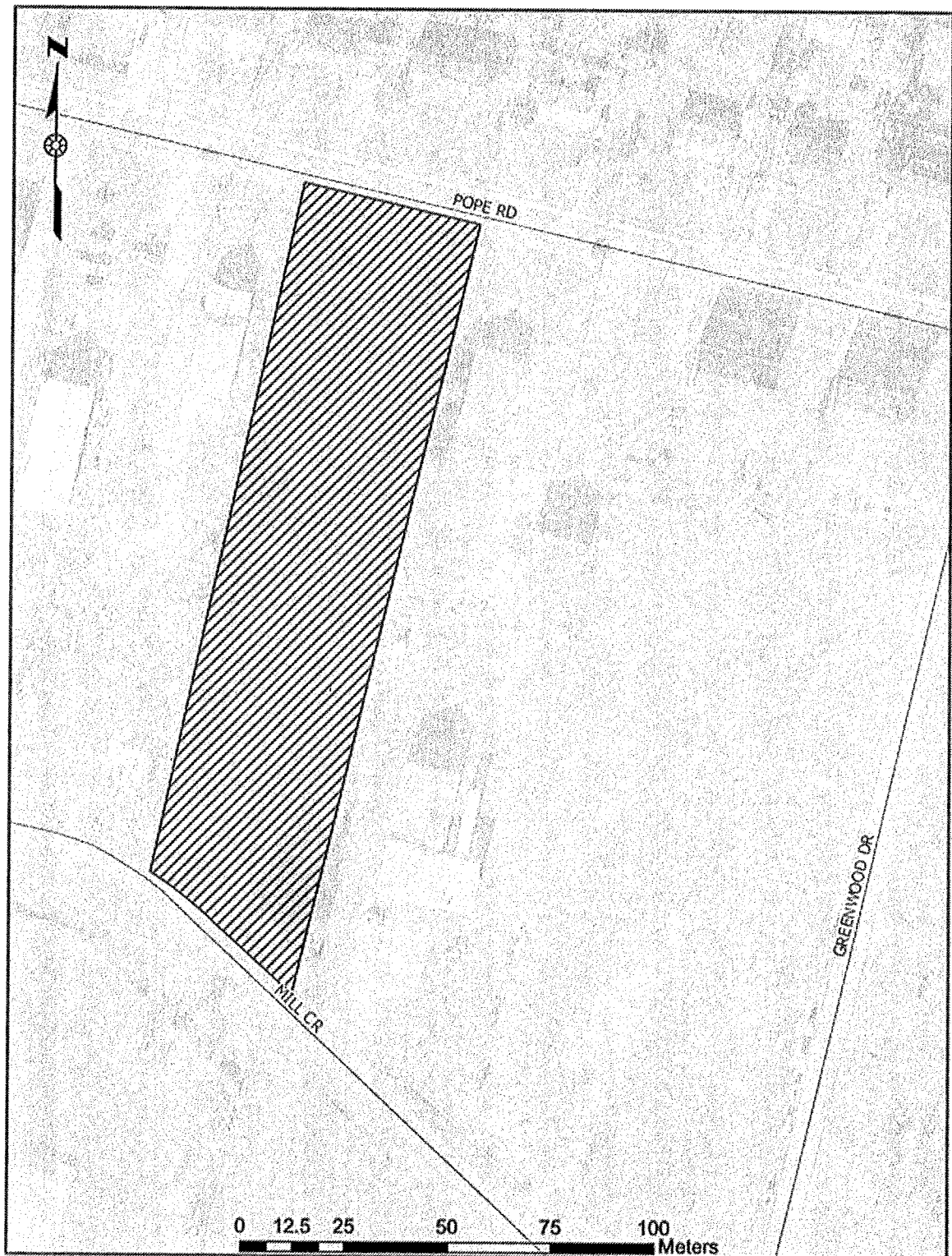
If you require additional information please contact the Development Officer at 902-432-1270 or by email linda.stevenson@city.summerside.pe.ca

Yours truly,



Linda Stevenson
Development Officer

- c. JP Desrosiers, Acting Chief Administrative Officer
- Aaron MacDonald, Director of Technical Services Department



Map showing location of 185 Pope Road, PID #548610

PID	FIRSTNAME	LASTNAME	O_ST_NO	O_ST_SUFF	O_ST_NM	O_ADR_2	O_ADR_3	O_ADR_4	OWN_POS
592113	SEAN D.	BLACQUIRERE					SUMMERSIDE	PE	C1N 5E7
537365	REAL J O	CARON					SUMMERSIDE	PE	C1N 5E9
537365	TERESA	CARON					SUMMERSIDE	PE	C1N 5E9
613935	RACHEL	COOPER					SUMMERSIDE	PE	C1N 5E2
606327		CWR HOLDINGS INCORPORATED					SUMMERSIDE	PE	C1N 0A7
592659	LORETTA	DOUCETTE					SUMMERSIDE	PE	C1N 5E2
538884		FINANCE PEI					CHARLOTTETOWN	PE	C1A 7M8
538884		FINANCE PEI					CHARLOTTETOWN	PE	C1A 7M8
548610 308585		HARCOR HOLDINGS inc					SUMMERSIDE	PE	C1N 0C9
525949	RAY FREDRICK	HOWATT					SUMMERSIDE	PE	C1N 5E2
591073		ILLSLEYS FARM SERVICE LTD					SUMMERSIDE	PE	C1N 2V5
322040 308593	DARCY	MACDONALD					CHARLOTTETOWN	PE	C1E 3H8
575951	SEAN	MACDONALD					SUMMERSIDE	PE	C1N 5E7
575951	BETHANY	MACDONALD					SUMMERSIDE	PE	C1N 5E7
472498	LISA	MACKINTOSH					MISCOUCHE	PE	C0B 1T0
69138		MARITIME PAPER PRODUCTS GP LTD					DARTMOUTH	NS	B3B 1C7
722363 690636		MCINNIS GROUP (1993) LTD					SUMMERSIDE	PE	C1N 5C6
613943	ALAN	MENDOZA	1				SUMMERSIDE	PE	C1N 5E2
613943	CYNTHIA	MENDOZA					SUMMERSIDE	PE	C1N 5E2
525931	NORBERT PATRICK	OBRIEN					SUMMERSIDE	PE	C1N 5E2
525931	JUDY	OBRIEN					SUMMERSIDE	PE	C1N 5E2
525956	RAMANDEEP	SINGH					SUMMERSIDE	PE	C1N 5X9
525956	NEHA SAHA	SINGH					SUMMERSIDE	PE	C1N 5X9
613976	WALTER	WILLIAMS					SUMMERSIDE	PE	C1N 5E7
613976	BETTY MAE	WILLIAMS					SUMMERSIDE	PE	C1N 5E7

NOT RELEVANT

NOT RELEVANT

From: [Linda Stevenson](#)

Sent: July 14, 2025 2:04:00 PM

To: [Megan Williams](#)

Subject: 232 Simmons and 185 Pope Road public meeting agenda draft

Sensitivity: Normal

Attachments:

[Special \(Public\) Council Meeting Agenda July 21 draft.docx](#) ;

Meg

Please see attached for your comments.

Linda

Linda Stevenson
Development Officer, City of Summerside
275 Fitzroy Street
Summerside, PE C1N 1H9
Phone: 902-432-1270



Special Council

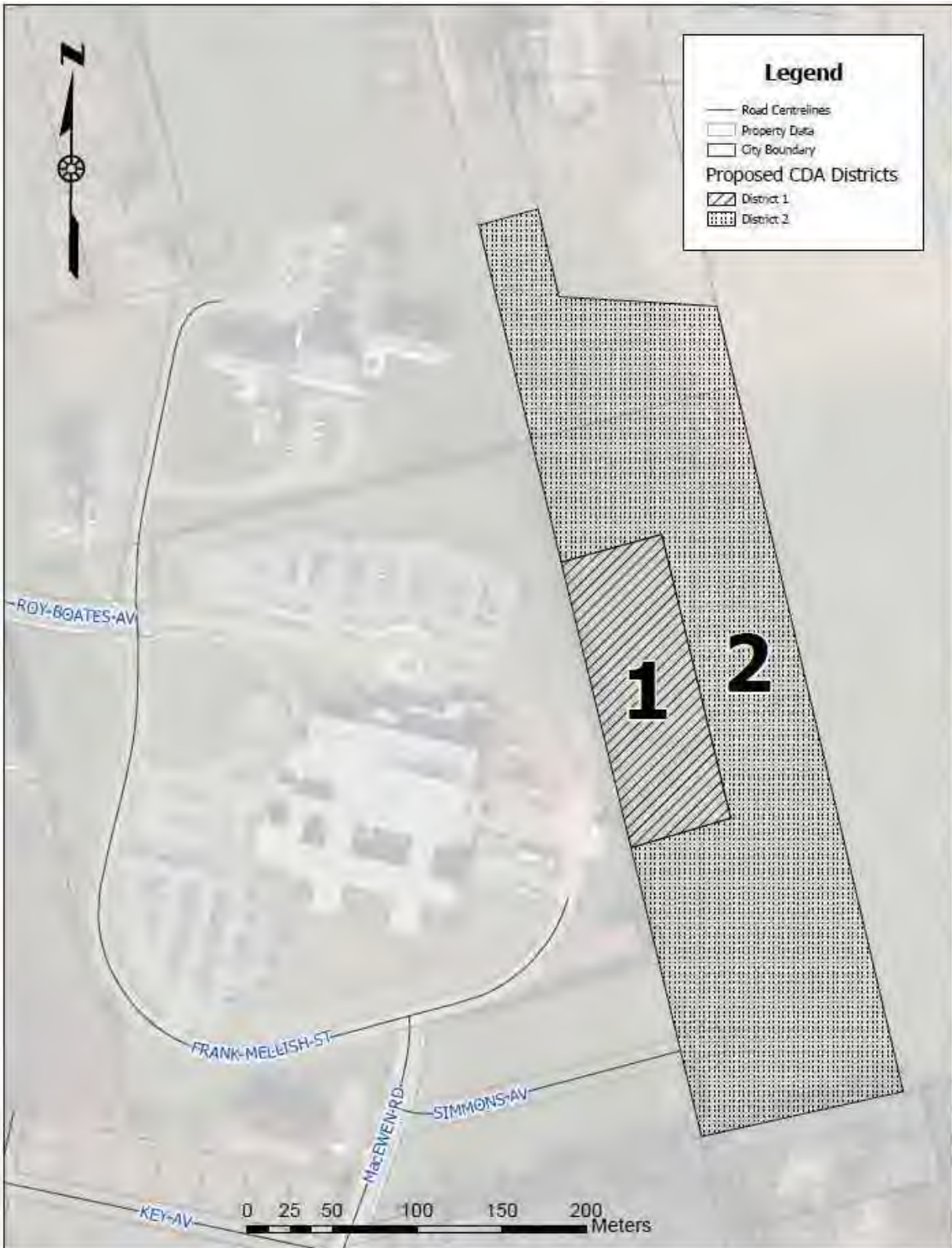
July 21, 2025

1. Call to Order
2. Approval of the Agenda
3. Conflict of Interest declaration
- 4. 232 Simmons Avenue – Official Plan and Zoning bylaw amendments**

Background:

An application was received from PCHF Investments Inc. for an Official Plan and Zoning Bylaw amendment that affect PID #1169465 and PID #71340 cumulatively known as 232 Simmons Avenue. The purpose of this Official Plan and Zoning Bylaw amendment is to amend the existing Agricultural land use and zoning to Comprehensive Development Area District to create an overlay that designates two separate development areas (Health and Learning District 1 and 2) and defines the permitted uses for each area.

The application was advertised in the July 5th, edition of the Guardian and letters were mailed to property owners within 60m or 200ft of the subject properties.



Explanation of the Process:

In order to process an official plan and zoning bylaw amendment, the following steps are required:

- (1) The zoning bylaw amendment is read a first time and declared as read at a first Council meeting.
- (2) The zoning bylaw amendment is referred to Planning Board for review and recommendation.

(Steps 1 and 2 take place at the same meeting of Council and will take place this evening)

- (3) Planning Board reviews the application and prepares a recommendation to Council.
(Step 3 takes place at Planning Board meeting)

- (4) The zoning bylaw amendment is read a second time and declared as read at a second Council meeting.

- (5) The official plan amendment is read to be adopted by Council, the resolution will be either carried or defeated by vote of Council. If the official plan amendment, is adopted by Council, it is sent to the Minister of Housing, Land and Communities for signature and the amendment becomes official. If the official plan amendment is defeated, the zoning bylaw amendment will be defeated as well, as the zoning amendment cannot contradict the official plan amendment.

- (6) The zoning bylaw amendment is read to be adopted by Council, the resolution will be either carried or defeated by vote of Council. If the zoning bylaw amendment, is adopted by Council, it is sent to the Minister of Housing, Land and Communities for signature and the amendment becomes official.

(Steps 4 - 6 take place at Council's second meeting)

Please note, that in accordance with section 5.10 of the City Zoning Bylaw, any person who is dissatisfied by a decision of Council in respect of the administration of this Bylaw, may appeal Council's decision within 21 days to the Island Regulatory & Appeals Commission [IRAC].

Health and Learning District – 232 Simmons Ave

21. All permitted use developments within the Health and Learning District – 232 Simmons Ave shall be subject to approval by the Development Officer while discretionary uses shall be referred to Council for a decision.
21. Application for all developments in the Health and Learning District – 232 Simmons Ave shall be reviewed in accordance with the guidelines and standards in Section 5 of this Bylaw and *Summerside Official Plan 2018; Building Bylaw CS-31; and Subdivision & Site Development Bylaw SS-19* and any amendments thereto.
21. The area shall be divided into two Health and Learning Districts identified on Map 21-21-21 as District #1 and District #2. The location, size and shape of the districts in Map 21-21-21 are approximate. Minor adjustments to account for technical matters may be considered to the satisfaction of the Development Officer.

Permitted Uses

21. Subject to bylaw requirements, the following uses shall be permitted in Health and Learning District #1:

Permitted Uses		
COMMERCIAL		
accessory building	child care centre	commercial/residential

Permitted Uses		
INSTITUTIONAL		
accessory building	medical office	school, post-secondary
school premises		

21. Subject to bylaw requirements, the following uses shall be permitted in Health and Learning District #2:

Permitted Uses		
RESIDENTIAL		
accessory building	accessory dwelling unit (subject to section 8.24)	apartment building
boarding house	duplex dwelling	nursing care facility: community care and nursing home
rooming house	row house	semi-detached dwelling
town house		

Conditional Uses

21. Subject to Development Officer approval, the following uses shall be conditional in District #2:

Conditional Uses		
home based business	tourism establishment: vacation rental property	

Development Standards

21. Development of 232 Simmons Ave District #1, the following standards shall apply

District 1 Standards		Lot area	Lot depth	Lot width	Front yard	Side Yards	Rear yard	Flankage Yard
	m	690	0	23	6	3	6	5
	ft	7,427.2	0	75.4	19.7	9.8	19.7	16.4
Maximum Building Height		Maximum building height shall be 6 storeys except where otherwise approved by Council.						

21. Development of 232 Simmons Ave District #2, the R3 District standards shall apply, with the exception of the Apartment Building, where the R4 standards apply.

- a. For factory constructed buildings, see additional standards in Section 8.10

General Standards

- 21. a. Parking for District #1 shall be calculated as follows:

- i Child Care Centre: 1 space/employee + 1 drop off space per classroom.
- ii Residential uses: 1 space/dwelling unit
- iii Medical Office: 1 space/employee + 2 spaces/treatment room

- b. Parking for District #2 shall be calculated per Section 10.5.

- 21. Notwithstanding 21. (above) parking for District #1 may be accommodated on a separate parcel where

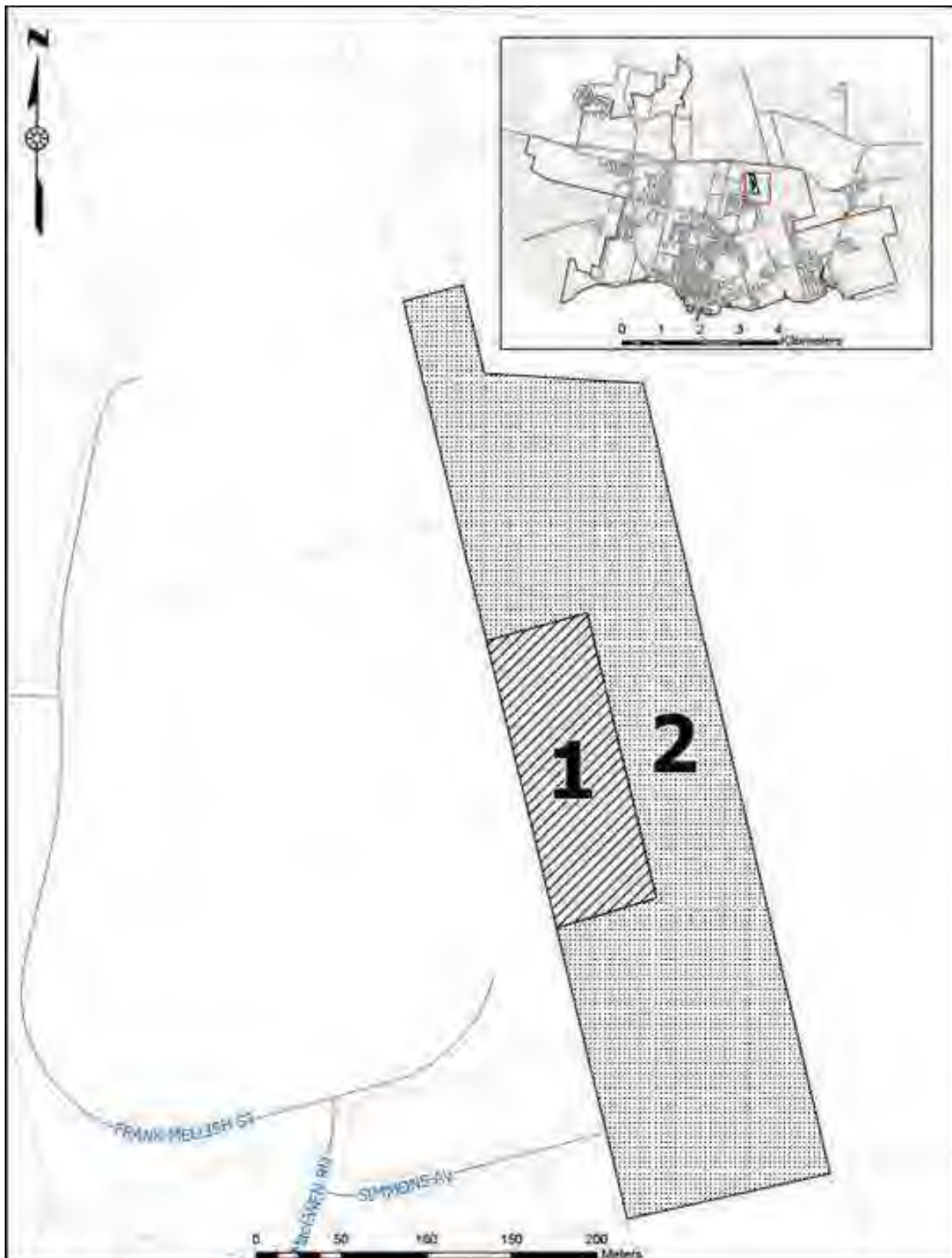
- a. the parcels are directly adjacent to each other, and
- b. a form of pedestrian walkway connects the two parcels.

This does not apply to accessible parking spots. Accessible parking spots for uses within District #1 must be accommodated on the subject parcel.

- 21. All portions of the lot not covered by structures, parking, or traffic circulation areas shall be landscaped.

Landscaping may include but is not limited to grass, plants, shrubs, sod, and trees.

- 21. Notwithstanding Section 8.9, more than one main building is permitted on a lot within this CDA – Health and Learning District - 232 Simmons Ave.



Map 21. Health and Learning District – 232 Simmons Ave

Comments and Questions:

- a. The applicant is invited to make comments. (Derek Bondt)

b. The public is invited to make comments.

(The floor is opened to the public for questions and comments. Please state your name and civic address for the record.)

5. 185 Pope Road – Official Plan and Zoning bylaw amendments

Background:

An application was received from PCHF Investments Ltd. for an Official Plan and Zoning Bylaw amendment that affects PID #1169465 and PID #71340, cumulatively known as 232 Simmons Avenue. The purpose of this Official Plan and Zoning Bylaw amendment is to amend the Official Plan Future Land Use Map to redesignate the properties from Agricultural land use to Comprehensive Development Area land use and amend the Zoning Bylaw to rezone the Zoning Bylaw Map from Agricultural (A) to Comprehensive Development Area (CDA) zone. The Health and Learning District creates an overlay that designates two separate development areas (District 1 and 2) and defines the permitted uses for each area.

The application was advertised in the July 5th, edition of the Guardian and letters were mailed to property owners within 60m or 200ft of the subject properties.



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Definitions

21. Dwelling, Cluster Residential means a group of four (4) or more single-detached residential buildings located on a single lot.

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21. Subject to bylaw requirements, the following uses shall be permitted:

Permitted Uses		
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accessory building	dwelling, cluster residential	

Conditional Uses

21. Subject to Development Officer approval:

Conditional Uses		
RESIDENTIAL		
home based business		

Development Standards

21. Development of 185 Pope Road shall conform with the following standards, where the front yard abuts Pope Road and the rear yard abuts Mill Crescent:

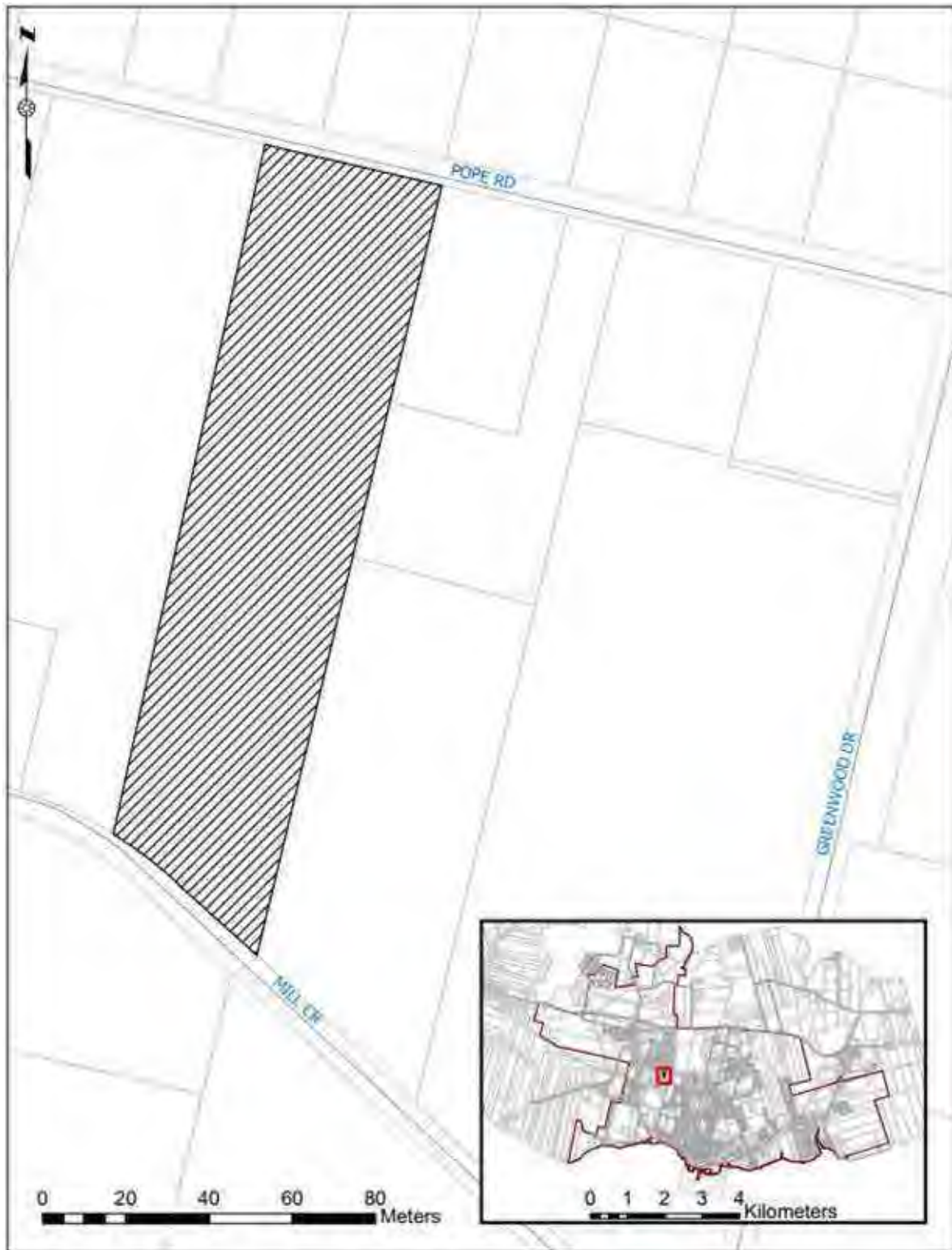
Cluster Residential District		Min. Front yard	Min. Side yards	Min. Rear yard	Max. height	Min. Distance between buildings
single detached dwelling (group)	m	6	2	6	4.6	4
	ft	19.7	6.6	19.7	15	13.12

Servicing Standards

- 21.
- a) each dwelling shall front onto a paved service road connecting to a street R.O.W.;
 - b) all service roads shall be a one-way with a minimum of 3.6 m (11.8 ft) for the driving lane;
 - c) each dwelling shall have service connections to water and sewer laterals serving the lot, but no dwelling shall be sited over such a lateral;
 - d) a Drainage Plan the considers the development of the entire lot is required as part of the permit application.

General Standards

21. One (1) parking space shall be provided per dwelling unit.
21. All portions of the lot not covered by structures, parking or traffic circulation areas shall be landscaped.
21. Notwithstanding Section 8.9, more than one main building is permitted on a lot within this CDA – Cluster Residential District – 185 Pope Road.



Map 21. Cluster Residential District – 185 Pope Road

Comments and Questions:

a. The applicant is invited to make comments. (Jamie Rogerson)

b. The public is invited to make comments.

(The floor is opened to the public for questions and comments. Please state your name and civic address for the record.)

Resolutions

a) Resolution 232 Simmons Avenue Zoning Bylaw amendment first reading

b) Resolution 232 Simmons Avenue Zoning Bylaw amendment first reading approval and refer to Planning Board

c) Resolution 185 Pope Road Zoning Bylaw amendment first reading

d) Resolution 185 Pope Road Zoning Bylaw amendment first reading approval and refer to Planning Board

6. Adjournment

From: [Linda Stevenson](#)

Sent: July 15, 2025 9:51:00 AM

To: [Megan Williams](#)

Subject: 232 Simmons and 185 Pope Resolutions

Sensitivity: Normal

Attachments:

[2 Resolution refer to PB.docx](#) ; [1 Resolution first reading 232 Simmons Av.docx](#)  [Resolution first reading 185 Pope.docx](#) 
Resolution refer to PB.docx ;

Heyo

Do these read/look OK?

Linda

Linda Stevenson
Development Officer, City of Summerside
275 Fitzroy Street
Summerside, PE C1N 1H9
Phone: 902-432-1270

NOT RELEVANT

NOT RELEVANT

Resolution
COS 25-001

July 21, 2025

Moved by Councillor _____

Seconded by Councillor _____

Resolution:

Carried	
---------	--

For	
-----	--

Defeated	
----------	--

Against	
---------	--

WHEREAS an application was received from Harcor Holdings Inc. for a zoning amendment for PID # 548610 from Agricultural (A) zone to Comprehensive Development Area (CDA) Cluster Residential District zone under the *City of Summerside Zoning Bylaw*;

BE IT RESOLVED THAT zoning bylaw amendment 0112, a bylaw to amend the *City of Summerside Zoning Bylaw* was read and declared as read a first time at the Council meeting held on July 21, 2025;

[schedule A is attached]

Schedule A
ZONING AMENDMENT 0112
A BYLAW TO AMEND THE CITY OF SUMMERSIDE ZONING BYLAW

The Council of the City of Summerside under authority vested in it by Section 18 and Section 19 of the *Planning Act R.S.P.E.I. 1988 Cap. P-8* hereby enacts as follows:

Cluster Residential District – 185 Pope Road

21. All permitted use developments within the Cluster Residential District – 185 Pope Road shall be subject to approval by the Development Officer while discretionary uses shall be referred to Council for a decision.
21. Application for all developments in the Cluster Residential District – 185 Pope Road shall be reviewed in accordance with the guidelines and standards in Section 5 of this Bylaw and *Summerside Official Plan 2018; Building Bylaw CS-31; and Subdivision & Site Development Bylaw SS-19*.

Definitions

21. Dwelling, Cluster Residential means a group of four (4) or more single-detached residential buildings located on a single lot.

Permitted Uses

21. Subject to bylaw requirements, the following uses shall be permitted:

Permitted Uses		
RESIDENTIAL		
accessory building	dwelling, cluster residential	

Conditional Uses

21. Subject to Development Officer approval:

Conditional Uses		
RESIDENTIAL		
home based business		

Development Standards

21. Development of 185 Pope Road shall conform with the following standards, where the front yard abuts Pope Road and the rear yard abuts Mill Crescent:

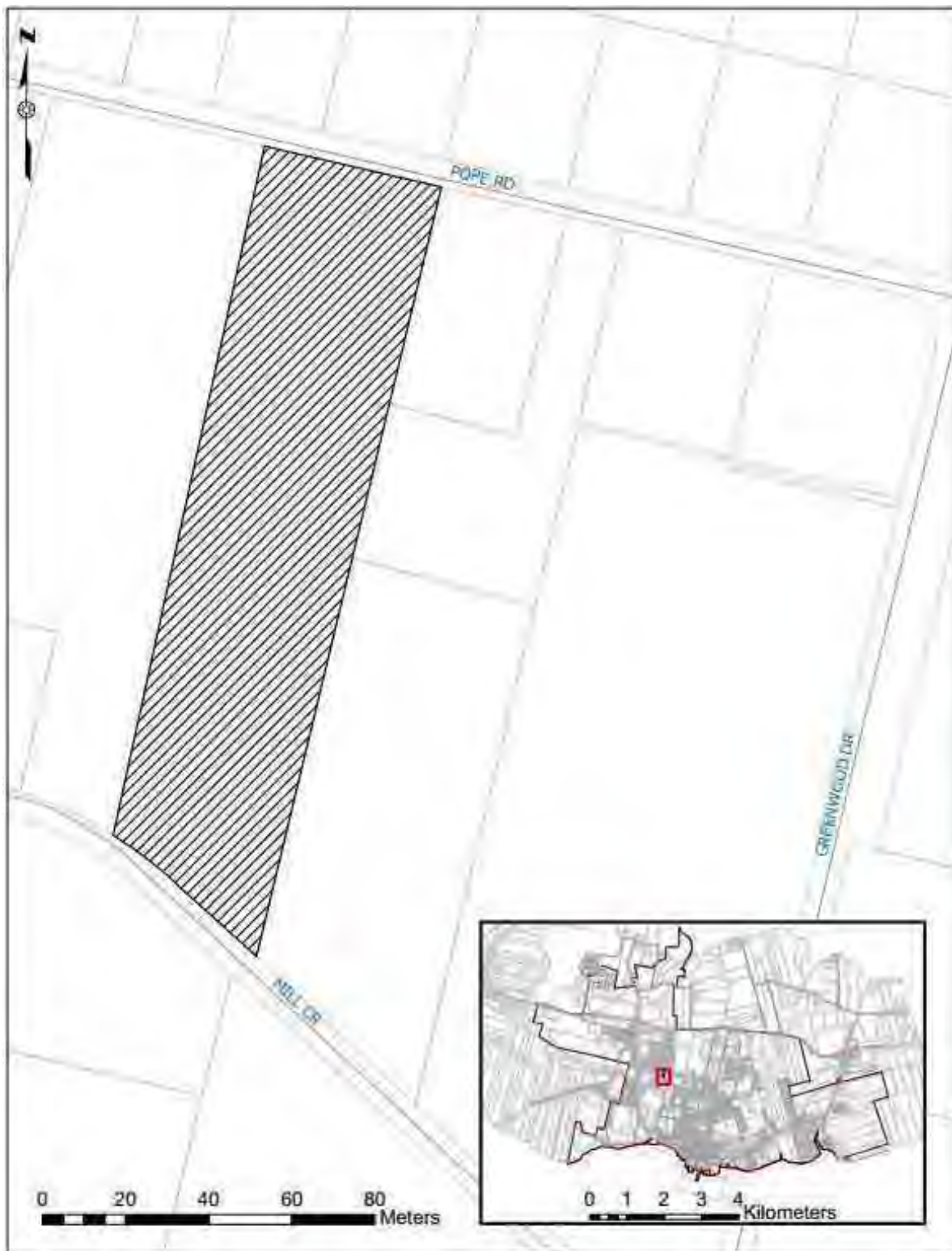
Cluster Residential District		Min. Front yard	Min. Side yards	Min. Rear yard	Max. height	Min. Distance between buildings
single detached dwelling (group)	m	6	2	6	4.6	4
	ft	19.7	6.6	19.7	15	13.12

Servicing Standards

- 21.
- a) each dwelling shall front onto a paved service road connecting to a street R.O.W.;
 - b) all service roads shall be a one-way with a minimum of 3.6 m (11.8 ft) for the driving lane;
 - c) each dwelling shall have service connections to water and sewer laterals serving the lot, but no dwelling shall be sited over such a lateral;
 - d) a Drainage Plan the considers the development of the entire lot is required as part of the permit application.

General Standards

21. One (1) parking space shall be provided per dwelling unit.
21. All portions of the lot not covered by structures, parking or traffic circulation areas shall be landscaped.
21. Notwithstanding Section 8.9, more than one main building is permitted on a lot within this CDA – Cluster Residential District – 185 Pope Road.



Map 21. Cluster Residential District – 185 Pope Road

2 Resolution refer to PB.docx



*Resolution
COS 25-001*

July 21, 2025

Moved by Councillor _____

Seconded by Councillor _____

Resolution:

Carried	
---------	--

For	
-----	--

Defeated	
----------	--

Against	
---------	--

WHEREAS an application was received from Harcor Holdings Inc. for a zoning amendment for PID # 548610 from Light Industrial (M1) zone to Comprehensive Development Area (CDA) Cluster Residential District zone under the *City of Summerside Zoning Bylaw*;

AND WHEREAS zoning bylaw amendment 0112, a bylaw to amend the *City of Summerside Zoning Bylaw*, was read and declared as read a first time at this Council meeting;

BE IT RESOLVED THAT zoning bylaw amendment 0112, a bylaw to amend the *City of Summerside Zoning Bylaw* be hereby referred back to the Planning Board for review and recommendation.

From: [Linda Stevenson](#)
Sent: July 21, 2025 3:25:49 PM
To: [Tony Gallant](#); [Gary McInnis](#); [Garrett Webster](#); [Mike Thususka](#)
Cc: [Aaron MacDonald](#); [Megan Williams](#)
Subject: 232 Simmons Avenue and 185 Pope Road
Sensitivity: Normal
Attachments:
[Special \(Public\) Council Meeting Agenda July 21 final.docx](#) ;

Good afternoon all **(Mike T only need to address 185 Pope Road)**

We have a rezoning for CDA at the above noted addresses. Please find the attached documents. Please provide comment on the following applicable to your role.

Your comments are required prior to July 28th .

Thanks Linda

Council, Planning Board and the Development Officer shall consider the following general criteria when reviewing applications, as applicable:

1. Conformity with all requirements of this Bylaw.
2. Conformity with the Official Plan (2018) and any approved Secondary Plans.
3. Suitability of the site for the proposed development.
4. Compatibility of the proposed development with surrounding land uses, including both existing and projected uses.
5. Any comments from residents or other interested persons.
6. Adequacy of existing water, sewer, road, storm water and electrical services, city parking and parklands for accommodating the development, and any projected infrastructure requirements.
7. Impacts from the development on pedestrian/vehicular access and safety, and on public safety generally.
8. Compatibility of the development with environmental, scenic and heritage resources.
9. Impacts on City finances and budgets.
10. Other matters as specified in this Bylaw, as well as other applicable City policies and bylaws.
11. Other matters as considered relevant.

Linda Stevenson
Development Officer, City of Summerside
275 Fitzroy Street
Summerside, PE C1N 1H9
Phone: 902-432-1270



Special Council

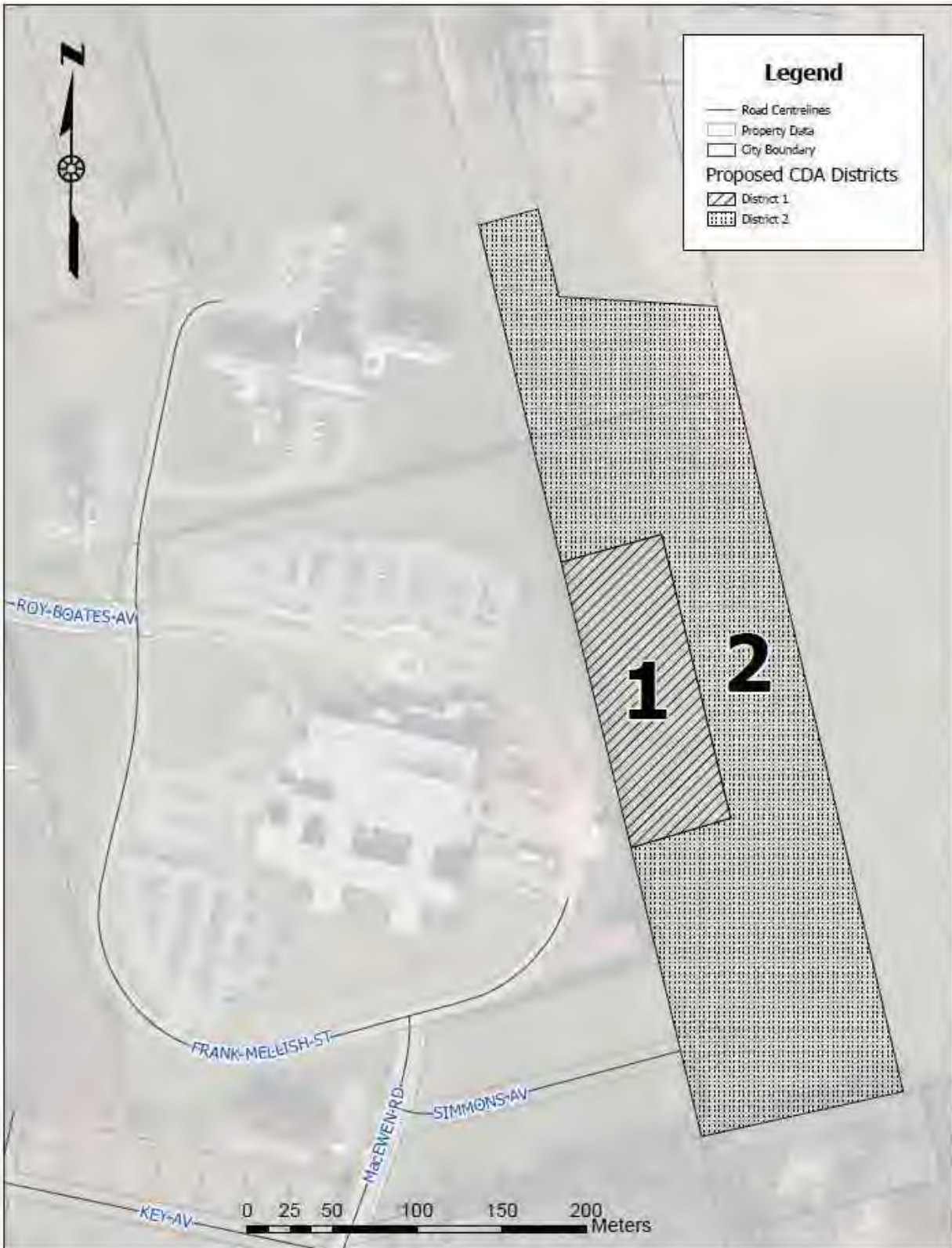
July 21, 2025

1. Call to Order
2. Approval of the Agenda
3. Conflict of Interest declaration
- 4. 232 Simmons Avenue – Official Plan and Zoning bylaw amendments**

Background:

An application was received from PCHF Investments Inc. for an Official Plan and Zoning Bylaw amendment that affect PID #1169465 and PID #71340 cumulatively known as 232 Simmons Avenue. The purpose of this Official Plan and Zoning Bylaw amendment is to amend the existing Agricultural land use and zoning to Comprehensive Development Area District to create an overlay that designates two separate development areas (Health and Learning District 1 and 2) and defines the permitted uses for each area.

The application was advertised in the July 5th, edition of the Guardian and letters were mailed to property owners within 60m or 200ft of the subject properties.



Explanation of the Process:

In order to process an official plan and zoning bylaw amendment, the following steps are required:

- (1) The zoning bylaw amendment is read a first time and declared as read at a first Council meeting.
- (2) The zoning bylaw amendment is referred to Planning Board for review and recommendation.

(Steps 1 and 2 take place at the same meeting of Council and will take place this evening)

- (3) Planning Board reviews the application and prepares a recommendation to Council.
(Step 3 takes place at Planning Board meeting)

- (4) The zoning bylaw amendment is read a second time and declared as read at a second Council meeting.

- (5) The official plan amendment is read to be adopted by Council, the resolution will be either carried or defeated by vote of Council. If the official plan amendment, is adopted by Council, it is sent to the Minister of Housing, Land and Communities for signature and the amendment becomes official. If the official plan amendment is defeated, the zoning bylaw amendment will be defeated as well, as the zoning amendment cannot contradict the official plan amendment.

- (6) The zoning bylaw amendment is read to be adopted by Council, the resolution will be either carried or defeated by vote of Council. If the zoning bylaw amendment, is adopted by Council, it is sent to the Minister of Housing, Land and Communities for signature and the amendment becomes official.

(Steps 4 - 6 take place at Council's second meeting)

Please note, that in accordance with section 5.10 of the City Zoning Bylaw, any person who is dissatisfied by a decision of Council in respect of the administration of this Bylaw, may appeal Council's decision within 21 days to the Island Regulatory & Appeals Commission [IRAC].

Health and Learning District – 232 Simmons Ave

21. All permitted use developments within the Health and Learning District – 232 Simmons Ave shall be subject to approval by the Development Officer while discretionary uses shall be referred to Council for a decision.
21. Application for all developments in the Health and Learning District – 232 Simmons Ave shall be reviewed in accordance with the guidelines and standards in Section 5 of this Bylaw and *Summerside Official Plan 2018; Building Bylaw CS-31; and Subdivision & Site Development Bylaw SS-19* and any amendments thereto.
21. The area shall be divided into two Health and Learning Districts identified on Map 21-
** as District #1 and District #2. The location, size and shape of the districts in Map 21-
** are approximate. Minor adjustments to account for technical matters may be considered to the satisfaction of the Development Officer.

Permitted Uses

21. Subject to bylaw requirements, the following uses shall be permitted in Health and Learning District #1:

Permitted Uses		
COMMERCIAL		
accessory building	child care centre	commercial/residential

Permitted Uses		
INSTITUTIONAL		
accessory building	medical office	school, post-secondary
school premises		

21. Subject to bylaw requirements, the following uses shall be permitted in Health and Learning District #2:

Permitted Uses		
RESIDENTIAL		
accessory building	accessory dwelling unit (subject to section 8.24)	apartment building
boarding house	duplex dwelling	nursing care facility: community care and nursing home
rooming house	row house	semi-detached dwelling
town house		

Conditional Uses

21. Subject to Development Officer approval, the following uses shall be conditional in District #2:

Conditional Uses		
home based business	tourism establishment: vacation rental property	

Development Standards

21. Development of 232 Simmons Ave District #1, the following standards shall apply

District 1 Standards		Lot area	Lot depth	Lot width	Front yard	Side Yards	Rear yard	Flankage Yard
	m	690	0	23	6	3	6	5
	ft	7,427.2	0	75.4	19.7	9.8	19.7	16.4
Maximum Building Height		Maximum building height shall be 6 storeys except where otherwise approved by Council.						

21. Development of 232 Simmons Ave District #2, the R3 District standards shall apply, with the exception of the Apartment Building, where the R4 standards apply.

- a. For factory constructed buildings, see additional standards in Section 8.10

General Standards

- 21. a. Parking for District #1 shall be calculated as follows:

- i Child Care Centre: 1 space/employee + 1 drop off space per classroom.
- ii Residential uses: 1 space/dwelling unit
- iii Medical Office: 1 space/employee + 2 spaces/treatment room

- b. Parking for District #2 shall be calculated per Section 10.5.

- 21. Notwithstanding 21. (above) parking for District #1 may be accommodated on a separate parcel where

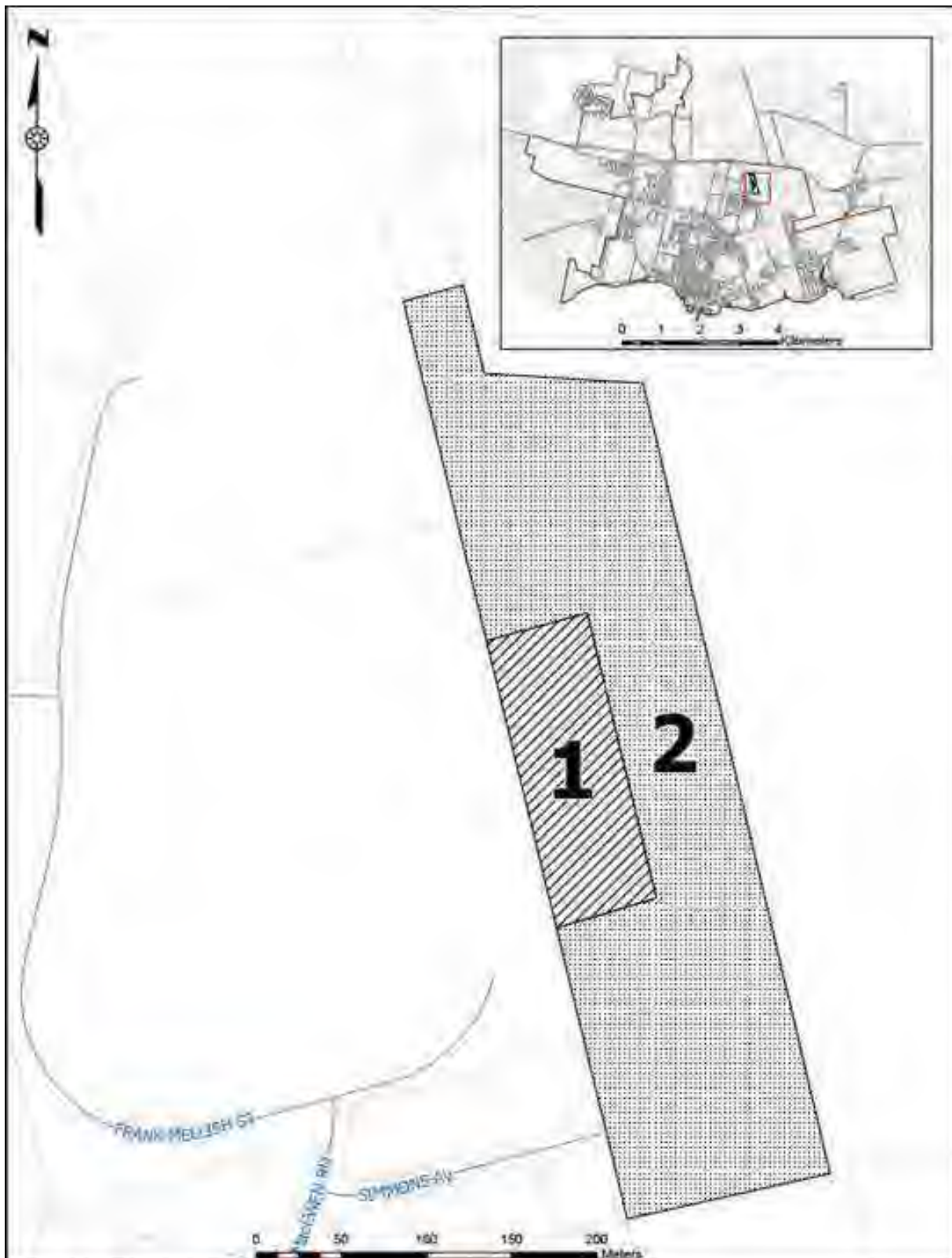
- a. the parcels are directly adjacent to each other, and
- b. a form of pedestrian walkway connects the two parcels.

This does not apply to accessible parking spots. Accessible parking spots for uses within District #1 must be accommodated on the subject parcel.

- 21. All portions of the lot not covered by structures, parking, or traffic circulation areas shall be landscaped.

Landscaping may include but is not limited to grass, plants, shrubs, sod, and trees.

- 21. Notwithstanding Section 8.9, more than one main building is permitted on a lot within this CDA – Health and Learning District - 232 Simmons Ave.



Map 21. Health and Learning District – 232 Simmons Ave

Comments and Questions:

- a. The applicant is invited to make comments. (Derek Bondt)

b. The public is invited to make comments.

(The floor is opened to the public for questions and comments. Please state your name and civic address for the record.)

5. 185 Pope Road – Official Plan and Zoning bylaw amendments

Background:

An application was received from Harcor Holdings Inc. for an Official Plan and Zoning Bylaw amendment that affects PID #548610, also known as 185 Pope Road. The purpose of this Official Plan and Zoning Bylaw amendment is to amend the Official Plan Future Land Use Map to redesignate the properties from Industrial land use to Comprehensive Development Area land use and amend the Zoning Bylaw to rezone the Zoning Bylaw Map from Light Industrial (M1) to Comprehensive Development Area (CDA) zone. The Cluster Residential District creates an overlay that defines the permitted uses and the regulations for the property.

The application was advertised in the July 5th, edition of the Guardian and letters were mailed to property owners within 60m or 200ft of the subject properties.



Explanation of the Process:

In order to process an official plan and zoning bylaw amendment, the following steps are required:

- (1) The zoning bylaw amendment is read a first time and declared as read at a first Council meeting.
- (2) The zoning bylaw amendment is referred to Planning Board for review and recommendation.

(Steps 1 and 2 take place at the same meeting of Council and will take place this evening)

- (3) Planning Board reviews the application and prepares a recommendation to Council.
(Step 3 takes place at Planning Board meeting)

- (4) The zoning bylaw amendment is read a second time and declared as read at a second Council meeting.
- (5) The official plan amendment is read to be adopted by Council, the resolution will be either carried or defeated by vote of Council. If the official plan amendment, is adopted by Council, it is sent to the Minister of Housing, Land and Communities for signature and the amendment becomes official. If the official plan amendment is defeated, the zoning bylaw amendment will be defeated as well, as the zoning amendment cannot contradict the official plan amendment.
- (6) The zoning bylaw amendment is read to be adopted by Council, the resolution will be either carried or defeated by vote of Council. If the zoning bylaw amendment, is adopted by Council, it is sent to the Minister of Housing, Land and Communities for signature and the amendment becomes official.

(Steps 4 - 6 take place at Council's second meeting)

Please note, that in accordance with section 5.10 of the City Zoning Bylaw, any person who is dissatisfied by a decision of Council in respect of the administration of this Bylaw, may appeal Council's decision within 21 days to the Island Regulatory & Appeals Commission [IRAC].

Cluster Residential District – 185 Pope Road

21. All permitted use developments within the Cluster Residential District – 185 Pope Road shall be subject to approval by the Development Officer while discretionary uses shall be referred to Council for a decision.
21. Application for all developments in the Cluster Residential District – 185 Pope Road shall be reviewed in accordance with the guidelines and standards in Section 5 of this Bylaw and *Summerside Official Plan 2018; Building Bylaw CS-31; and Subdivision & Site Development Bylaw SS-19.*

Definitions

21. Dwelling, Cluster Residential means a group of four (4) or more single-detached residential buildings located on a single lot.

Permitted Uses

21. Subject to bylaw requirements, the following uses shall be permitted:

Permitted Uses		
RESIDENTIAL		
accessory building	dwelling, cluster residential	

Conditional Uses

21. Subject to Development Officer approval:

Conditional Uses		
RESIDENTIAL		
home based business		

Development Standards

21. Development of 185 Pope Road shall conform with the following standards, where the front yard abuts Pope Road and the rear yard abuts Mill Crescent:

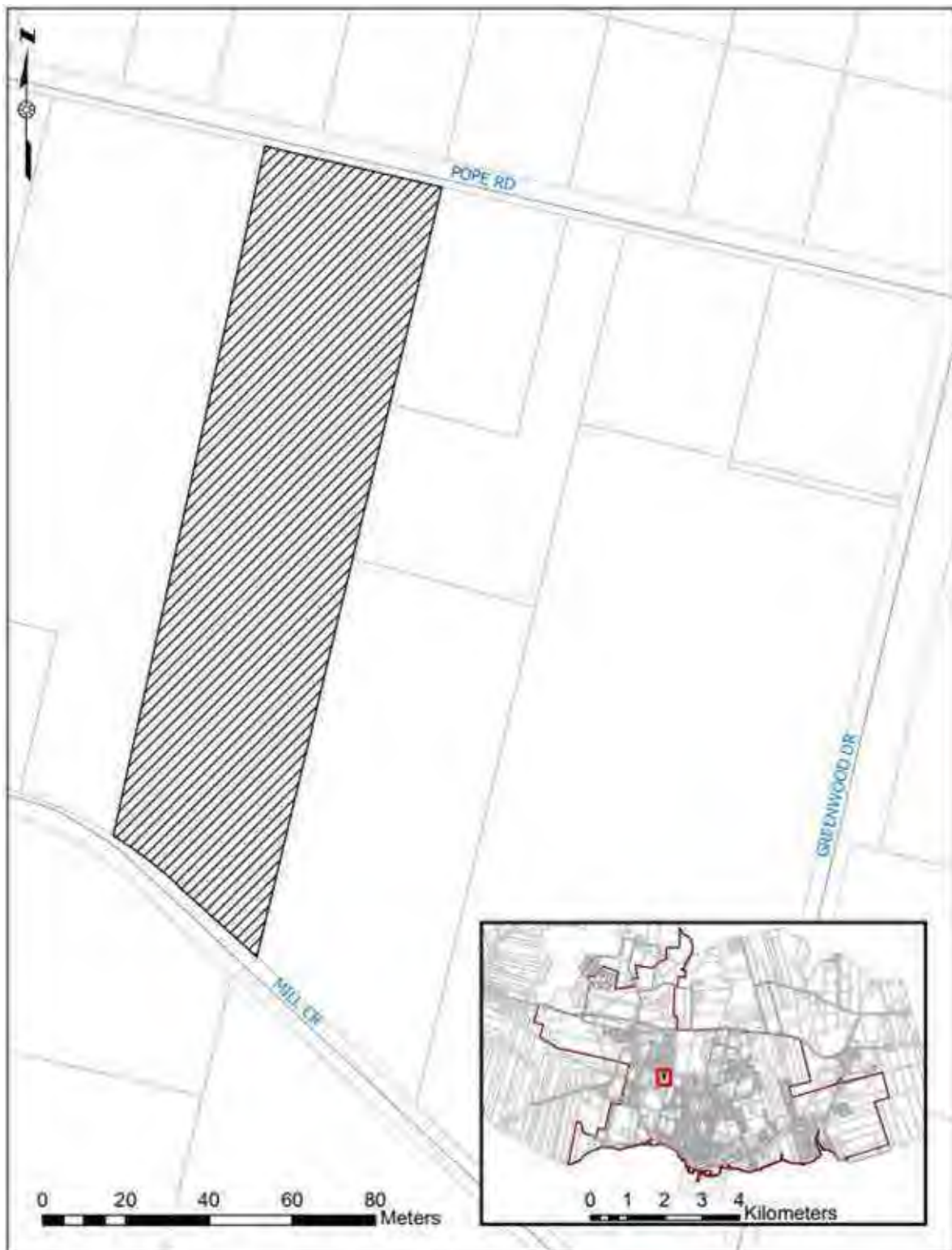
Cluster Residential District		Min. Front yard	Min. Side yards	Min. Rear yard	Max. height	Min. Distance between buildings
single detached dwelling (group)	m	6	2	6	4.6	4
	ft	19.7	6.6	19.7	15	13.12

Servicing Standards

- 21.
- a) each dwelling shall front onto a paved service road connecting to a street R.O.W.;
 - b) all service roads shall be a one-way with a minimum of 3.6 m (11.8 ft) for the driving lane;
 - c) each dwelling shall have service connections to water and sewer laterals serving the lot, but no dwelling shall be sited over such a lateral;
 - d) a Drainage Plan the considers the development of the entire lot is required as part of the permit application.

General Standards

21. One (1) parking space shall be provided per dwelling unit.
21. All portions of the lot not covered by structures, parking or traffic circulation areas shall be landscaped.
21. Notwithstanding Section 8.9, more than one main building is permitted on a lot within this CDA – Cluster Residential District – 185 Pope Road.



Map 21. Cluster Residential District – 185 Pope Road

Comments and Questions:

a. The applicant is invited to make comments. (Jamie Rogerson)

b. The public is invited to make comments.

(The floor is opened to the public for questions and comments. Please state your name and civic address for the record.)

Resolutions

- a) Resolution 232 Simmons Avenue Zoning Bylaw amendment first reading
- b) Resolution 232 Simmons Avenue Zoning Bylaw amendment first reading approval and refer to Planning Board
- c) Resolution 185 Pope Road Zoning Bylaw amendment first reading
- d) Resolution 185 Pope Road Zoning Bylaw amendment first reading approval and refer to Planning Board
- e) Resolution 330 Central Street - Restricted Use
- f) Resolution 55 Starlite Street – Starlite Subdivision Phase 2 preliminary approval renewal
- g) Resolution 55 Starlite Street - Starlite Subdivision Phase 3 preliminary approval renewal

6. Adjournment

From: [Tony Gallant](#)
Sent: July 22, 2025 9:45:00 AM
To: [Linda Stevenson](#); [Gary McInnis](#); [Garrett Webster](#); [Mike Thususka](#)
Cc: [Aaron MacDonald](#); [Megan Williams](#)
Subject: RE: 232 Simmons Avenue and 185 Pope Road
Sensitivity: Normal

185 Pope Road

From: Linda Stevenson <linda@summerside.ca>
Sent: Monday, July 21, 2025 3:26 PM
To: Tony Gallant <Tony@summerside.ca>; Gary McInnis <gary@summerside.ca>; Garrett Webster <garrett.webster@summerside.ca>; Mike Thususka <mike@summerside.ca>
Cc: Aaron MacDonald <aaron@summerside.ca>; Megan Williams <megan.williams@city.summerside.pe.ca>
Subject: 232 Simmons Avenue and 185 Pope Road

Good afternoon all **(Mike T only need to address 185 Pope Road)**

We have a rezoning for CDA at the above noted addresses. Please find the attached documents. Please provide comment on the following applicable to your role.

Your comments are required prior to July 28th .

Thanks Linda

Council, Planning Board and the Development Officer shall consider the following general criteria when reviewing applications, as applicable:

1. Conformity with all requirements of this Bylaw.
2. Conformity with the Official Plan (2018) and any approved Secondary Plans.
3. Suitability of the site for the proposed development.
4. Compatibility of the proposed development with surrounding land uses, including both existing and projected uses.
5. Any comments from residents or other interested persons.
6. Adequacy of existing water, sewer, road, storm water and electrical services, city parking and parklands for accommodating the development, and any projected infrastructure requirements. **The City's water supply and sewer treatment systems can handle the loading from this proposed CDA development.**
7. Impacts from the development on pedestrian/vehicular access and safety, and on public safety generally.
8. Compatibility of the development with environmental, scenic and heritage resources.
9. Impacts on City finances and budgets.
10. Other matters as specified in this Bylaw, as well as other applicable City policies and bylaws.

11. Other matters as considered relevant.

Linda Stevenson
Development Officer, City of Summerside
275 Fitzroy Street
Summerside, PE C1N 1H9
Phone: 902-432-1270

From: [Garrett Webster](#)
Sent: July 22, 2025 11:16:00 AM
To: [Linda Stevenson](#); [Tony Gallant](#); [Gary McInnis](#); [Mike Thususka](#)
Cc: [Aaron MacDonald](#); [Megan Williams](#)
Subject: RE: 232 Simmons Avenue and 185 Pope Road
Sensitivity: Normal

Summerside Electric Comments

232 Simmons Av

- #6 – Power is available to be extended into the development. Developer to submit plans to Summerside Electric for review and power coordination/extension. The development area labelled as District 2 borders against the Maritime Electric transmission lines. Summerside Electric cannot install pole structures or overhead wires that would interfere with these transmission lines, which may limit developer options to higher cost underground designs at developer expense if required.
- #4/7 – For District 2 East side, the nearby Maritime Electric transmission lines will have large exclusion zones around them which may limit proposed development designs in proximity to the transmission lines. Tall buildings may encroach too close to these higher voltage lines, and long metallic structures (ex long fences or metallic pipe systems in the ground) in parallel with higher power transmission lines like these can potentially build dangerous voltages through wireless induction to persons on the ground touching the metallic structure. Developer will need to coordinate with Maritime Electric on the specific clearance requirements of the transmission line, and development designer will need to be aware of hazards to mitigate in their designs.
- For both points above developer should generally coordinate designs with Maritime Electric to understand operating voltages, and needed clearances from these transmission lines. Any discussion of modification/relocation of the transmission line is between developer and Maritime Electric if required. Summerside Electric can coordinate new power needs with developer, but cannot give direction on the Maritime Electric system hazards or restrictions of their system.

185 Pope Rd

- #6 – Power is available to be extended into new development. Developer to submit plans to Summerside Electric for review and power coordination.

From: Linda Stevenson <linda@summerside.ca>
Sent: July 21, 2025 3:26 PM
To: Tony Gallant <Tony@summerside.ca>; Gary McInnis <gary@summerside.ca>; Garrett Webster <garrett.webster@summerside.ca>; Mike Thususka <mike@summerside.ca>
Cc: Aaron MacDonald <aaron@summerside.ca>; Megan Williams <megan.williams@city.summerside.pe.ca>
Subject: 232 Simmons Avenue and 185 Pope Road

Good afternoon all **(Mike T only need to address 185 Pope Road)**

We have a rezoning for CDA at the above noted addresses. Please find the attached documents. Please provide comment on the following applicable to your role.

Your comments are required prior to July 28th .

Thanks Linda

Council, Planning Board and the Development Officer shall consider the following general criteria when reviewing

applications, as applicable:

1. Conformity with all requirements of this Bylaw.
2. Conformity with the Official Plan (2018) and any approved Secondary Plans.
3. Suitability of the site for the proposed development.
4. Compatibility of the proposed development with surrounding land uses, including both existing and projected uses.
5. Any comments from residents or other interested persons.
6. Adequacy of existing water, sewer, road, storm water and electrical services, city parking and parklands for accommodating the development, and any projected infrastructure requirements.
7. Impacts from the development on pedestrian/vehicular access and safety, and on public safety generally.
8. Compatibility of the development with environmental, scenic and heritage resources.
9. Impacts on City finances and budgets.
10. Other matters as specified in this Bylaw, as well as other applicable City policies and bylaws.
11. Other matters as considered relevant.

Linda Stevenson
Development Officer, City of Summerside
275 Fitzroy Street
Summerside, PE C1N 1H9
Phone: 902-432-1270

From: [Megan Williams](#)
Sent: July 23, 2025 12:57:12 PM
To: [Linda Stevenson](#)
Cc: [Aaron MacDonald](#); [Tony Gallant](#); [Gary McInnis](#); [Garrett Webster](#); [Mike Thususka](#)
Subject: Re: 185 Pope Road
Sensitivity: Normal

185 Pope Road

Council, Planning Board and the Development Officer shall consider the following general criteria when reviewing applications, as applicable:

1. Conformity with all requirements of this Bylaw.
The process to adopt and develop this comprehensive development area has followed the Zoning Bylaw requirements.
2. Conformity with the Official Plan (2018) and any approved Secondary Plans.
The proposal supports many of the OP's objectives and policies namely
 - under Section 3.4 which aims to "foster growth strategies that focus on making Summerside a sustainable community" as well as the policies to promote higher density development, mix land uses, and promote a range of housing types.
 - and under Section 5.1.1 which aims to "promote all housing types in the city" and to "include zones to accommodate all housing types" as well as the policies to promoting residential densities, and to maintain the CDA for promoting innovative responses to unique development opportunities.

The industrial section of the OP aims to support new industries with a focus on quality industries and their respective market segments, to develop quality industrial parks that have good transportation accessibility, and to minimize conflicts with other land uses. It does not speak specifically to how industrial uses interact with residential uses. Even though the OP is silent on this matter, it cannot be assumed it supports it. Staff addresses compatibility and land use conflict below.

3. Suitability of the site for the proposed development.
4. Compatibility of the proposed development with surrounding land uses, including both existing and projected uses.
The need to separate industrial and residential development from each other is one of the primary reasons for land use zoning. Not only does this separation limit the exposure of residents to the hazards and nuisance factors typically present in industrial developments, but it ensures industrial developments, a major economic driver for municipalities, are able to develop and expand without needing to take extra steps to protect the adjacent landowners.

It is apparent by the development within and surrounding the Greenwood industrial area that it's in transition. There is significant residential encroachment: it's surrounded on all sides by low to medium density residential development. This industrial area is also majority developed; the uses within it that are light industrial in nature include storage, shipping, autobody repair, and a construction lay-down business. Other uses include a church, medical offices, and a fish mart, further indication that this industrial area is under transition.

To date, staff have been made aware of complaints from the adjacent residential properties speaking against the nuisances produced by the storage of seaweed on the subject parcel.

While allowing the rezoning of this parcel to a residential-type use follows the direction this industrial area is taking, it's important to understand that Council and staff will still receive complaints due to the conflicting nature of the uses. These types of complaints likely won't end until this area has finished transitioning. During this transition phase, mitigation of nuisance factors, ensuring pedestrian safety, and separating residential and industrial traffic are ways to minimize conflicts and complaints. Considerations include:

- The location of a sidewalk, to discourage pedestrians from crossing the industrial accesses.
- The traffic flow into and out of the proposed development. In order to reduce the turning conflicts in and out of the

development.

- Screening from adjacent parcels. While not included in the proposed CDA zone, considerations may be made to require opaque screening; this will keep future residents from trespassing onto adjacent industrial lots from their rear yard, and will block any potential unsightliness from their view.

5. Any comments from residents or other interested persons.

6. Adequacy of existing water, sewer, road, storm water and electrical services, city parking and parklands for accommodating the development, and any projected infrastructure requirements.

7. Impacts from the development on pedestrian/vehicular access and safety, and on public safety generally.

8. Compatibility of the development with environmental, scenic and heritage resources.

There are no environmental, scenic, nor heritage resources on this property. If the developer unearths an archeological or paleontological resource they are required to report it to the relevant Minister per the Archeology Act.

9. Impacts on City finances and budgets.

10. Other matters as specified in this Bylaw, as well as other applicable City policies and bylaws.

11. Other matters as considered relevant.

The Housing Needs Assessment, completed in April of 2021 stated a further 1,025 to 1,250 dwelling units would be needed over the next 15 (now 11) years to meet expected population growth. We are on track to surpass this. However the Housing Needs Assessment was completed prior to Statistics Canada releasing census. Summerside's population growth from 2016-2021 was 7%; the dwelling unit projection in the Housing Needs Assessment was based on a 0.5% annual growth. Summerside will require more than 1,250 dwelling units to meet current and future housing needs, and this proposed development lends itself not only towards the need for dwelling units, but for the need of different types of dwellings.

Comments on 232 to follow

Megan Williams, RPP, MCIP

Planning Officer

City of Summerside

275 Fitzroy Street

Summerside, PE C1N 1H9

Direct Line: 902-432-1260

Fax: 902-436-3191

Email: megan.williams@summerside.ca

Website: www.summerside.ca

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From: Tony Gallant <Tony@summerside.ca>

Sent: Tuesday, July 22, 2025 9:45 AM

To: Linda Stevenson <linda@summerside.ca>; Gary McInnis <gary@summerside.ca>; Garrett Webster <garrett.webster@summerside.ca>; Mike Thususka <mike@summerside.ca>

Cc: Aaron MacDonald <aaron@summerside.ca>; Megan Williams <megan.williams@city.summerside.pe.ca>

Subject: RE: 232 Simmons Avenue and 185 Pope Road

185 Pope Road

From: Linda Stevenson <linda@summerside.ca>

Sent: Monday, July 21, 2025 3:26 PM

To: Tony Gallant <Tony@summerside.ca>; Gary McInnis <gary@summerside.ca>; Garrett Webster <garrett.webster@summerside.ca>; Mike Thususka <mike@summerside.ca>

Cc: Aaron MacDonald <aaron@summerside.ca>; Megan Williams <megan.williams@city.summerside.pe.ca>

Subject: 232 Simmons Avenue and 185 Pope Road

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We have a rezoning for CDA at the above noted addresses. Please find the attached documents. Please provide comment on the following applicable to your role.

Your comments are required prior to July 28th .

Thanks Linda

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4. Compatibility of the proposed development with surrounding land uses, including both existing and projected uses.
5. Any comments from residents or other interested persons.
6. Adequacy of existing water, sewer, road, storm water and electrical services, city parking and parklands for accommodating the development, and any projected infrastructure requirements. **The City's water supply and sewer treatment systems can handle the loading from this proposed CDA development.**
7. Impacts from the development on pedestrian/vehicular access and safety, and on public safety generally.
8. Compatibility of the development with environmental, scenic and heritage resources.
9. Impacts on City finances and budgets.
10. Other matters as specified in this Bylaw, as well as other applicable City policies and bylaws.
11. Other matters as considered relevant.

Linda Stevenson
Development Officer, City of Summerside
275 Fitzroy Street
Summerside, PE C1N 1H9
Phone: 902-432-1270

From: [Megan Williams](#)
Sent: July 23, 2025 1:00:56 PM
To: [Linda Stevenson](#)
Subject: Re: 185 Pope Road
Sensitivity: Normal

Side note, Council questions/comments included:

- Sidewalks within the development
- Whether it's a public/private road
- whether Jaime's going to sell off the houses/properties
- whether there's a tower on the parcel
- The size of the units
- What's happening with garbage
- what's happening with water/sewer.

Megan Williams, RPP, MCIP
Planning Officer

City of Summerside
275 Fitzroy Street
Summerside, PE C1N 1H9

Direct Line: 902-432-1260
Fax: 902-436-3191
Email: megan.williams@summerside.ca
Website: www.summerside.ca

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From: Megan Williams <megan.williams@city.summerside.pe.ca>
Sent: Wednesday, July 23, 2025 12:57 PM
To: Linda Stevenson <linda@summerside.ca>
Cc: Aaron MacDonald <aaron@summerside.ca>; Tony Gallant <Tony@summerside.ca>; Gary McInnis <gary@summerside.ca>; Garrett Webster <garrett.webster@summerside.ca>; Mike Thususka <mike@summerside.ca>
Subject: Re: 185 Pope Road

185 Pope Road

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The proposal supports many of the OP's objectives and policies namely
 - under Section 3.4 which aims to "foster growth strategies that focus on making Summerside a sustainable community" as well as the policies to promote higher density development, mix land uses, and promote a range

of housing types.

- and under Section 5.1.1 which aims to "promote all housing types in the city" and to "include zones to accommodate all housing types" as well as the policies to promoting residential densities, and to maintain the CDA for promoting innovative responses to unique development opportunities.

The industrial section of the OP aims to support new industries with a focus on quality industries and their respective market segments, to develop quality industrial parks that have good transportation accessibility, and to minimize conflicts with other land uses. It does not speak specifically to how industrial uses interact with residential uses. Even though the OP is silent on this matter, it cannot be assumed it supports it. Staff addresses compatibility and land use conflict below.

3. Suitability of the site for the proposed development.

4. Compatibility of the proposed development with surrounding land uses, including both existing and projected uses.

The need to separate industrial and residential development from each other is one of the primary reasons for land use zoning. Not only does this separation limit the exposure of residents to the hazards and nuisance factors typically present in industrial developments, but it ensures industrial developments, a major economic driver for municipalities, are able to develop and expand without needing to take extra steps to protect the adjacent landowners.

It is apparent by the development within and surrounding the Greenwood industrial area that it's in transition. There is significant residential encroachment: it's surrounded on all sides by low to medium density residential development. This industrial area is also majority developed; the uses within it that are light industrial in nature include storage, shipping, autobody repair, and a construction lay-down business. Other uses include a church, medical offices, and a fish mart, further indication that this industrial area is under transition.

To date, staff have been made aware of complaints from the adjacent residential properties speaking against the nuisances produced by the storage of seaweed on the subject parcel.

While allowing the rezoning of this parcel to a residential-type use follows the direction this industrial area is taking, it's important to understand that Council and staff will still receive complaints due to the conflicting nature of the uses. These types of complaints likely won't end until this area has finished transitioning. During this transition phase, mitigation of nuisance factors, ensuring pedestrian safety, and separating residential and industrial traffic are ways to minimize conflicts and complaints. Considerations include:

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- The traffic flow into and out of the proposed development. In order to reduce the turning conflicts in and out of the development.
- Screening from adjacent parcels. While not included in the proposed CDA zone, considerations may be made to require opaque screening; this will keep future residents from trespassing onto adjacent industrial lots from their rear yard, and will block any potential unsightliness from their view.

5. Any comments from residents or other interested persons.

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7. Impacts from the development on pedestrian/vehicular access and safety, and on public safety generally.

8. Compatibility of the development with environmental, scenic and heritage resources.

There are no environmental, scenic, nor heritage resources on this property. If the developer unearths an archeological or paleontological resource they are required to report it to the relevant Minister per the Archeology Act.

9. Impacts on City finances and budgets.

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Comments on 232 to follow

Megan Williams, RPP, MCIP

Planning Officer

City of Summerside

275 Fitzroy Street
Summerside, PE C1N 1H9

Direct Line: 902-432-1260

Fax: 902-436-3191

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Cc: Aaron MacDonald <aaron@summerside.ca>; Megan Williams <megan.williams@city.summerside.pe.ca>

Subject: RE: 232 Simmons Avenue and 185 Pope Road

185 Pope Road

From: Linda Stevenson <linda@summerside.ca>

Sent: Monday, July 21, 2025 3:26 PM

To: Tony Gallant <Tony@summerside.ca>; Gary McInnis <gary@summerside.ca>; Garrett Webster <garrett.webster@summerside.ca>; Mike Thususka <mike@summerside.ca>

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Development Officer, City of Summerside
275 Fitzroy Street
Summerside, PE C1N 1H9
Phone: 902-432-1270

From: [Mike Thususka](#)
Sent: July 23, 2025 1:55:47 PM
To: [Megan Williams](#); [Linda Stevenson](#)
Cc: [Aaron MacDonald](#); [Tony Gallant](#); [Gary McInnis](#); [Garrett Webster](#)
Subject: RE: 185 Pope Road
Sensitivity: Normal

I was not going to comment, as past commentary has not yielded much if any action or fulsome thought. Here again would be my commentary

Economic Development Commentary on Employment Land Rezoning Request

Economic Development has been asked to provide input on a request to rezone existing employment lands for residential use. While these lands are somewhat isolated and may no longer represent the highest economic use due to surrounding development, we do not see significant harm in converting these specific parcels. However, any such decisions must be approached with greater strategic consideration.

Position and Context

Economic Development continues to advocate for the preservation of industrial lands as essential to long-term economic sustainability, job creation, and municipal revenue. While residential growth is critical, it cannot come at the continued expense of employment land a trend that seems to go unheard. The Mayor’s Task Force on Housing (2024) confirms that sufficient residential lands already exist to meet future demand, reducing the need for ad hoc rezonings—especially in established industrial zones. Although the report focuses on residential land supply, it reinforces the need for a parallel commitment to employment land planning to maintain economic diversity and future growth capacity. Rezoning employment lands for housing may yield short-term benefits, but risks include loss of investor confidence, reduced space for future businesses, and incompatibility issues between residential and industrial uses.

Key Considerations

- 1. **Vision for Employment Lands**
A clear, long-term strategy is needed to guide the use and protection of Summerside’s limited employment lands.
- 2. **Preservation Measures**
Stronger safeguards must be in place to prevent the erosion of industrial zones.
- 3. **Zoning Consistency**
Rezoning should align with the original economic intent of industrial clusters.
- 4. **Impact on Industrial Tenants**
Introducing residential uses may create conflicts with current or future industrial operations.
- 5. **Challenges to Future Expansion**
Non-conforming residential uses can restrict future industrial growth and undermine economic goals.

Recommendation: If rezoning is approved, an equivalent industrial land bank should be established to offset the loss.

Long-Term Recommendations

- 1. **Employment Land Planning Study**
Launch a comprehensive study to assess future employment land needs and align with shifts in logistics, labor, and real estate demand.

2. Improved Rezoning Coordination

Enhance interdepartmental review processes to ensure thorough and timely input on rezoning requests.

3. Land Inventory

Develop a complete inventory of residential and employment lands (built and greenfield) to support balanced growth.

4. Resource Allocation

Provide Economic Development with resources to replenish employment land stock as needed.

Conclusion

While some flexibility is warranted, continued rezoning of employment lands for residential use risks long-term economic health. A balanced, proactive planning approach is essential to ensure Summerside remains a resilient and diversified economy.

From: Megan Williams <megan.williams@city.summerside.pe.ca>

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Megan Williams, RPP, MCIP

Planning Officer

City of Summerside

275 Fitzroy Street
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Direct Line: 902-432-1260

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Cc: Aaron MacDonald <aaron@summerside.ca>; Megan Williams <megan.williams@city.summerside.pe.ca>

Subject: RE: 232 Simmons Avenue and 185 Pope Road

185 Pope Road

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To: Tony Gallant <Tony@summerside.ca>; Gary McInnis <gary@summerside.ca>; Garrett Webster <garrett.webster@summerside.ca>; Mike Thususka <mike@summerside.ca>

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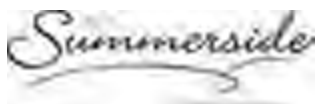
Phone: 902-432-1270

From: [Gary McInnis](#)
Sent: July 30, 2025 9:26:00 AM
To: [Linda Stevenson](#); [Tony Gallant](#); [Garrett Webster](#); [Mike Thususka](#)
Cc: [Aaron MacDonald](#); [Megan Williams](#)
Subject: RE: 232 Simmons Avenue and 185 Pope Road
Sensitivity: Normal

232 Simmons Avenue Comments for Access /Drainage / Streets/ Pedestrian Safety in **Green AMA**

Council, Planning Board and the Development Officer shall consider the following general criteria when reviewing applications, as applicable:

1. Conformity with all requirements of this Bylaw. **N/A**
2. Conformity with the Official Plan (2018) and any approved Secondary Plans. **N/A**
3. Suitability of the site for the proposed development. **N/A**
4. Compatibility of the proposed development with surrounding land uses, including both existing and projected uses. **N/A**
5. Any comments from residents or other interested persons. **N/A**
6. Adequacy of existing water, sewer, road, storm water and electrical services, city parking and parklands for accommodating the development, and any projected infrastructure requirements.
The existing streets are designed to a city local standard and will accommodate the additional traffic from the development. The development will have to extend the existing Simmons storm system to the new development to accommodate a storm system for the new development as the Simmons system was designed to allow overland flow from the crest of the hill at the end of Simmons Street profile. This new development will have to provide a stub street near West end of the new development ,approximately 200m, from Simmons to meet the street minimum street length with a cul-de-sac of 220 m.
7. Impacts from the development on pedestrian/vehicular access and safety, and on public safety generally.
Vehicular access to Symmons with the new development will for a new intersection as a “T” intersection controlled with a stop sign on the new street.
Pedestrian access is through the paved shoulder to MacEwan Road sidewalk on the east side.
8. Compatibility of the development with environmental, scenic and heritage resources. **N/A**
9. Impacts on City finances and budgets. **N/A**
10. Other matters as specified in this Bylaw, as well as other applicable City policies and bylaws. **N/A**
11. Other matters as considered relevant. **N/A**



Gary McInnis
Assistant Municipal Engineer
City of Summerside
Technical services Department

3rd floor , City Hall

275 Fitzroy street

Summerside, PEI

C1N 1H9

phone 902 439 4322

Fax 902 436 3191

e-mail gary@summerside.ca

Statement of Confidentiality

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Déclaration de confidentialité

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Summerside, PE C1N 1H9
Phone: 902-432-1270

From: [Megan Williams](#)
Sent: July 30, 2025 3:11:48 PM
To: [Linda Stevenson](#)
Subject: Re: 185 Pope Road
Sensitivity: Normal
Attachments:
[Recommendation 185 Pope Rd_MW.docx](#) ;

And here's suggested changes including drawing attention to the ec dev report attached!

M

From: Linda Stevenson <linda@summerside.ca>
Sent: Wednesday, July 30, 2025 2:28 PM
To: Megan Williams <megan.williams@summerside.ca>
Subject: 185 Pope Road

Hey Meg

Here's the 185 Pope for a look see. And.....

ICE CREAM TIME !!!!

Linda Stevenson
Development Officer, City of Summerside
275 Fitzroy Street
Summerside, PE C1N 1H9
Phone: 902-432-1270

August 5, 2025

Department/Committee: Planning Board

Subject: 185 Pope Road (Official Plan and Zoning Amendment)

SUPPORTING EXPLANATION:

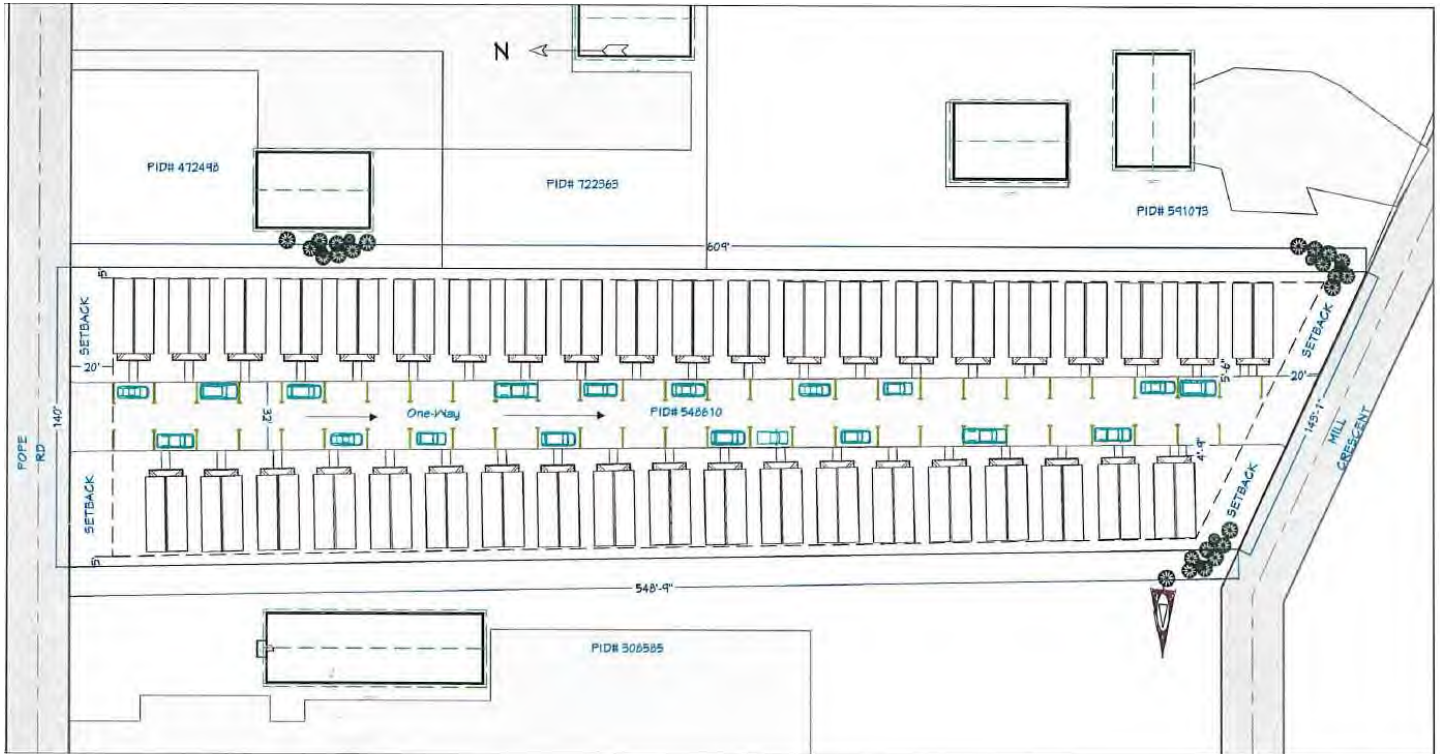
Purpose: The purpose of this Official Plan and Zoning Bylaw amendment is to amend Official Plan's Schedule 'B': "Future Land Use Map", to redesignate the subject parcels from Industrial to Comprehensive Development Area. It is also proposing to amend the Zoning Bylaw Schedule A (Bylaw Text) and Schedule 'B' (Zoning Map)" for the purpose of rezoning the subject parcels from Light Industrial (M1) zone to Comprehensive Development Area (CDA) zone.

Background: An application was received from Harcor Holdings Inc. for an Official Plan and Zoning Bylaw amendment that affects PID #548610 known as 185 Pope Road. The purpose of this Official Plan and Zoning Bylaw amendment is to amend the existing industrial land use and zoning to Comprehensive Development Area District to create an overlay that designates a development area (Cluster Residential District) and defines the permitted uses for the area.

MAP OF PROPOSED CDA PLAN DISTRICT



DEVELOPMENT PLAN VIEW



Report: Under section 5.7 of the zoning bylaw when Planning Board reviews a zoning bylaw amendment, it has to consider the following general criteria, as applicable. Under Section 8.4 of the Parks and Green Space Plan, the criteria of 2, 3, 5, 7 and 8 must be considered:

1. Conformity with all requirements of this Bylaw.

Staff Comment: The process to adopt and develop this comprehensive development area has followed the Zoning Bylaw requirements.

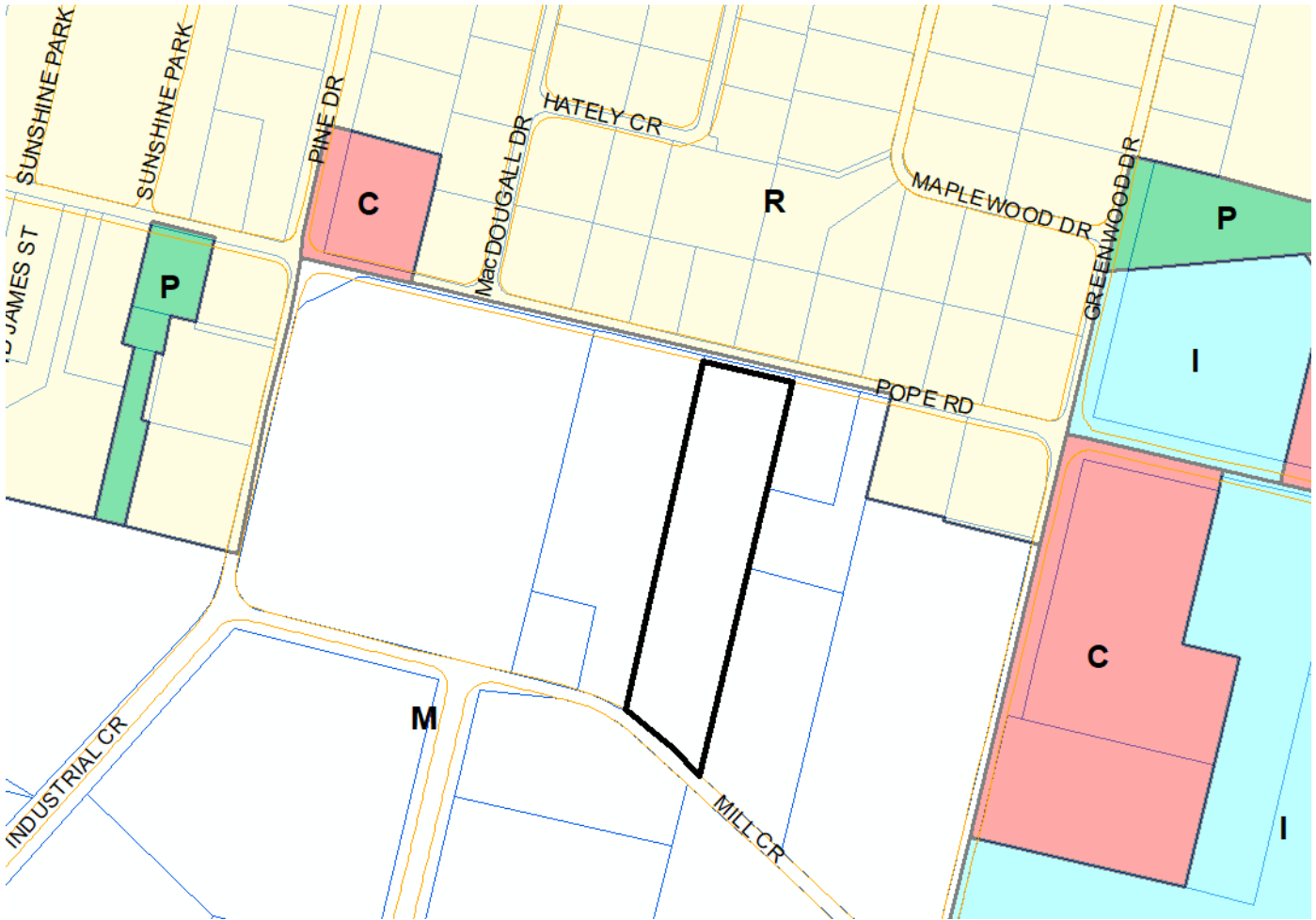
2. Conformity with the Official Plan.

Staff Comment: The proposed Official Plan Amendment aligns with the Official Plan. This proposal supports a number of objectives and policies within the Official Plan. Namely:

- under Section 3.4 which aims to "foster growth strategies that focus on making Summerside a sustainable community" as well as the policies to promote higher density development, mix land uses, and promote a range of housing types.
- and under Section 5.1.1 which aims to "promote all housing types in the city" and to "include zones to accommodate all housing types" as well as the policies to promoting residential densities, and to maintain the CDA for promoting innovative responses to unique development opportunities.

The industrial section of the OP aims to support new industries with a focus on quality industries and their respective market segments, to develop quality industrial parks that have good transportation accessibility, and to minimize conflicts with other land uses. It does not speak specifically to how industrial uses interact with residential uses. Even though the OP is silent on this matter, it cannot be assumed it supports it. Staff addresses compatibility and land use conflict below.

EXTRACT OF FUTURE LAND USE MAP



3. Suitability of the site for the proposed development.

Staff Comment: The +/-16 acre site is suitable for development and will be required to be developed as per City bylaws and standards. The property is intended to be further subdivided with extension of City roads and servicing.

4. Compatibility of the proposed development with surrounding land uses, including both existing and projected uses.

Staff Comment: There are a variety of land uses surrounding the proposed development: agricultural, residential, parkland, institutional, and a special use zone that houses the substation. These uses are all generally compatible with the proposed development.

The need to separate industrial and residential development from each other is one of the primary reasons for land use zoning. Not only does this separation limit the exposure of residents to the hazards and nuisance factors typically present in industrial developments, but it ensures industrial developments, a major economic driver for municipalities, are able to develop and expand without needing to take extra steps to protect the adjacent landowners.

It is apparent by the development within and surrounding the Greenwood industrial area that it's in transition. There is significant residential encroachment: it's surrounded on all sides by low to medium density residential uses. This industrial area is also majority developed; the uses within it are light industrial in nature and include storage, shipping,

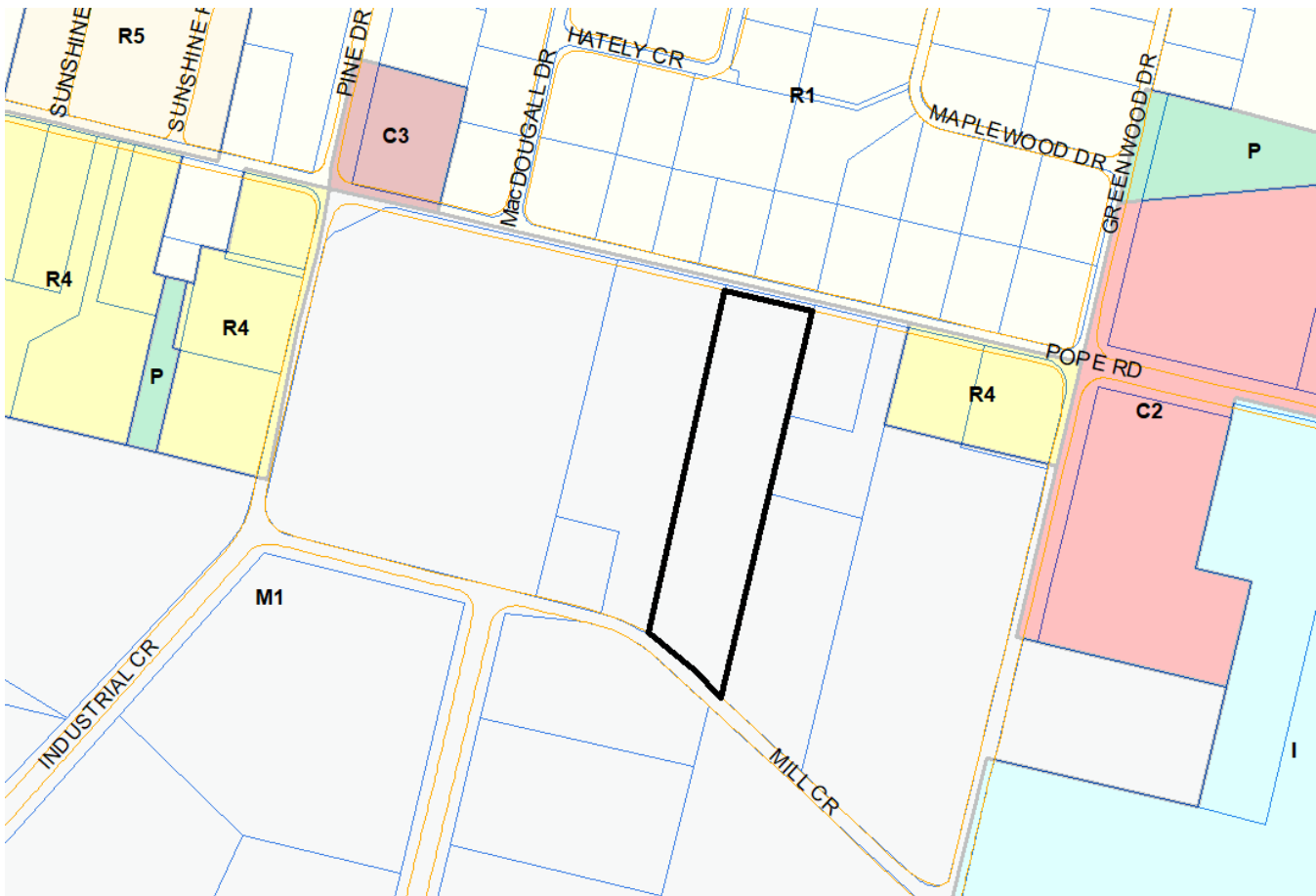
autobody repair, and a construction lay-down business. Other uses include a church, medical offices, and a fish mart, further indication that this industrial area is under transition.

To date, staff have been made aware of complaints from the adjacent residential properties speaking against the nuisances produced by the storage of seaweed on the subject parcel.

While allowing the rezoning of this parcel to a residential-type use follows the direction this industrial area is taking, it's important to understand that Council and staff will still receive complaints due to the conflicting nature of the uses. These types of complaints likely won't end until this area has finished transitioning. During this transition phase, mitigation of nuisance factors, ensuring pedestrian safety, and separating residential and industrial traffic are ways to minimize conflicts and complaints. Considerations include:

- The location of a sidewalk, to discourage pedestrians from crossing the industrial accesses.
- The traffic flow into and out of the proposed development. In order to reduce the turning conflicts in and out of the development.
- Screening from adjacent parcels. While not included in the proposed CDA zone, considerations may be made to require opaque screening; this will keep future residents from trespassing onto adjacent industrial lots from their rear yard and will block any potential unsightliness from their view.

EXTRACT OF ZONING MAP



5. Any comments from residents or other interested persons.

Staff Comment: A public meeting was held on July 21, 2025. The public meeting notice was advertised in the July 5th, edition of the Guardian. Twenty-four (24) letters were mailed to twenty-one (21) property owners, 2 of the properties notified were owned by the applicant. The applicant, Jamie Rogerson (Representing Harcor Holdings inc.) provided an overview of the development (CDA Plan) outlining the intended uses. No one from the public spoke at the public meeting, no written comments were received regarding this development.

6. *Adequacy of existing water, sewer, road, storm water and electrical services, city parking and parklands for accommodating the development, and any projected infrastructure requirements.*

Staff Comment: The City's water supply and sewer treatment systems can handle the loading from this proposed CDA development. This development fronts Pope Road and Mill Crescent, a one-way access from Pope Road (entrance) to exit on to Mill Crescent. The proposed access locations meet the City standards. This access already exists along Pope Road and a new access will need to be installed on the Mill Crescent with a culvert across the existing ditch system at the developers cost. The development will have access to a city sidewalk on the south side of Pope Road. The development will be required to provide a drainage plan showing how the drainage will flow from the site will be directed to the city storm systems on Pope and Mill Crescent. Summerside Electric has identified there is inadequate space to provide overhead powerlines on currently proposed layout plans and given street/building density. Developer must allocate space for underground powerlines and ground mounted transformers/URD boxes. It is believed this will require elimination or relocation of some structures to make room for electrical equipment. The developer is responsible to submit engineering plans for underground electric servicing to Summerside Electric to review. All costs of UG electrical construction and design is at the developer's cost. Once plans are available, Summerside Electric will offer quotes. The Crescent Drive Park is located within 720m from the subject property. Parkland dedication is calculated upon subdivision of lands, this development will not be further subdivided, thus parkland dedication is not applicable in this application.

7. *Impacts from the development on pedestrian/vehicular access and safety, and on public safety generally.*

Staff Comment: This development will add additional traffic flow to the existing Pope Road and Mill Crescent, but it should be split on to both streets with the access being one way from Pope Road to Mill Crescent. Both streets will be able to accommodate the additional traffic. Pope Road has an approximate VPD of 8-9000, while we do not have traffic count information on Mill Crescent but would expect it to be no greater than 5-600 VPD. Both streets will be able to handle the additional flow. The site is pedestrian accessible via sidewalk on the south side of Pope Road.

8. *Compatibility of the development with environmental, scenic and heritage resources.*

Staff Comment: There are no environmental, scenic, nor heritage resources on this property. If the developer unearths an archeological or paleontological resource, they are required to report it to the relevant Minister per the Archeology Act.

9. *Impacts on City finances and budgets.*

Staff Comment:

10. *Other matters as specified in this Bylaw.*

Staff Comment: Not applicable

11. *Other matters as considered relevant.*

Staff Comment: The Housing Needs Assessment, completed in April of 2021 stated a further 1,025 to 1,250 dwelling units would be needed over the next 15 (now 11) years to meet expected population growth. We are on track to surpass this. However the Housing Needs Assessment was completed prior to Statistics Canada releasing census.

Summerside's population growth from 2016-2021 was 7%; the dwelling unit projection in the Housing Needs Assessment was based on a 0.5% annual growth. Summerside will require more than 1,250 dwelling units to meet current and future housing needs, and this proposed development lends itself not only towards the need for dwelling units, but for the need of different types of dwellings. The Director of Economic Development also provides comments regarding the application for Council's consideration, see pages 9 and 10.

There are economic development implications for the City of Summerside. The comments from the Economic Development Department have been attached to this report.

STAFF REVIEW: City staff supports the proposed amendments for the proposed Cluster Residential District for an Official Plan and Zoning Bylaw amendment for PID #548610, known as 185 Pope Road (amendments pages 7-8).

As per Section 5.10 (b, iii) of the Zoning Bylaw, the Planning Board shall make a recommendation to Council on this application before it is approved or denied.

The planning board recommendation whether carried or defeated will be brought forward to Council for a final decision.

PLANNING BOARD RECOMMENDATION: The application received from application from Harcor Holdings Inc. for PID #548610 to amend the *City Official Plan and Zoning Bylaw* creating the CDA Plan (Cluster Residential District), and Council designate the development officer to review and approve developments with the CDA Zone (Cluster residential District), be recommended to be approved by Council:

Moved by: _____ Seconded by: _____

Motion:

Carried	
---------	--

For	
-----	--

Defeated	
----------	--

Against	
---------	--

Cluster Residential District – 185 Pope Road

21. All permitted use developments within the Cluster Residential District – 185 Pope Road shall be subject to approval by the Development Officer while discretionary uses shall be referred to Council for a decision.
21. Application for all developments in the Cluster Residential District – 185 Pope Road shall be reviewed in accordance with the guidelines and standards in Section 5 of this Bylaw and *Summerside Official Plan 2018; Building Bylaw CS-31; and Subdivision & Site Development Bylaw SS-19.*

Definitions

21. Dwelling, Cluster Residential means a group of four (4) or more single-detached residential buildings located on a single lot.

Permitted Uses

21. Subject to bylaw requirements, the following uses shall be permitted:

Permitted Uses		
RESIDENTIAL		
accessory building	dwelling, cluster residential	

Conditional Uses

21. Subject to Development Officer approval:

Conditional Uses		
RESIDENTIAL		
home based business		

Development Standards

21. Development of 185 Pope Road shall conform with the following standards, where the front yard abuts Pope Road and the rear yard abuts Mill Crescent:

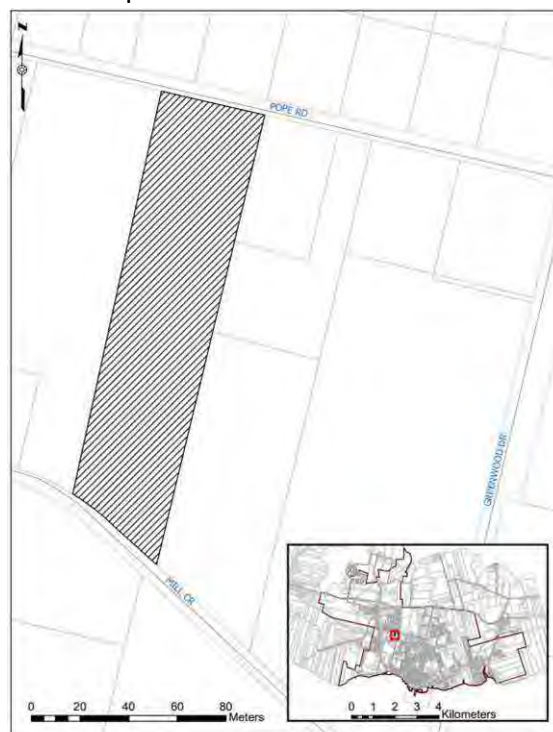
Cluster Residential District		Min. Front yard	Min. Side yards	Min. Rear yard	Max. height	Min. Distance between buildings
single detached dwelling (group)	m	6	2	6	4.6	4
	ft	19.7	6.6	19.7	15	13.12

Servicing Standards

- 21.
- a) each dwelling shall front onto a paved service road connecting to a street R.O.W.;
 - b) all service roads shall be a one-way with a minimum of 3.6 m (11.8 ft) for the driving lane;
 - c) each dwelling shall have service connections to water and sewer laterals serving the lot, but no dwelling shall be sited over such a lateral;
 - d) a Drainage Plan the considers the development of the entire lot is required as part of the permit application.

General Standards

21. One (1) parking space shall be provided per dwelling unit.
21. All portions of the lot not covered by structures, parking or traffic circulation areas shall be landscaped.
21. Notwithstanding Section 8.9, more than one main building is permitted on a lot within this CDA – Cluster Residential District – 185 Pope Road.



Map 21. Cluster Residential District – 185 Pope Road

Economic Development Commentary on Employment Land Rezoning Request

Economic Development has been asked to provide input on a request to rezone existing employment lands for residential use. While these lands are somewhat isolated and may no longer represent the highest economic use due to surrounding development, we do not see significant harm in converting these specific parcels. However, any such decisions must be approached with greater strategic consideration.

Position and Context

Economic Development continues to advocate for the preservation of industrial lands as essential to long-term economic sustainability, job creation, and municipal revenue. While residential growth is critical, it cannot come at the continued expense of employment land a trend that seems to go unheard.

The Mayor's Task Force on Housing (2024) confirms that sufficient residential lands already exist to meet future demand, reducing the need for ad hoc rezonings—especially in established industrial zones. Although the report focuses on residential land supply, it reinforces the need for a parallel commitment to employment land planning to maintain economic diversity and future growth capacity.

Rezoning employment lands for housing may yield short-term benefits, but risks include loss of investor confidence, reduced space for future businesses, and incompatibility issues between residential and industrial uses.

Key Considerations

1. **Vision for Employment Lands**

A clear, long-term strategy is needed to guide the use and protection of Summerside's limited employment lands.

2. **Preservation Measures**

Stronger safeguards must be in place to prevent the erosion of industrial zones.

3. **Zoning Consistency**

Rezoning should align with the original economic intent of industrial clusters.

4. **Impact on Industrial Tenants**

Introducing residential uses may create conflicts with current or future industrial operations.

5. **Challenges to Future Expansion**

Non-conforming residential uses can restrict future industrial growth and undermine economic goals.

Recommendation: If rezoning is approved, an equivalent industrial land bank should be established to offset the loss.

Long-Term Recommendations

1. **Employment Land Planning Study**

Launch a comprehensive study to assess future employment land needs and align with shifts in logistics, labor, and real estate demand.

2. **Improved Rezoning Coordination**

Enhance interdepartmental review processes to ensure thorough and timely input on rezoning requests.

3. **Land Inventory**

Develop a complete inventory of residential and employment lands (built and greenfield) to support balanced growth.

4. **Resource Allocation**

Provide Economic Development with resources to replenish employment land stock as needed.

Conclusion

While some flexibility is warranted, continued rezoning of employment lands for residential use risks long-term economic health. A balanced, proactive planning approach is essential to ensure Summerside remains a resilient and diversified economy.

Megan Williams

From: Jamie Rodgerson <rodgersonconstruction@gmail.com>
Sent: August 20, 2025 11:01 AM
To: Megan Williams
Subject: Re: Proposed tiny home development

Hey Megan,

Just looking for an update on the status of this development, we had a council meeting on it, it seemed well recieved, but I haven't heard anything since on it.

Do you know what the next step is or when Ill have some more information?

On Tue, Jun 24, 2025, 9:23 AM Jamie Rodgerson <rodgersonconstruction@gmail.com> wrote:
Yes I would love to get this to council asap!

On Tue, Jun 24, 2025, 9:20 AM Megan Williams <megan.williams@city.summerside.pe.ca> wrote:
Excellent, thanks Jamie!

If you're happy with the zone as is, we'll take it to Council. Will let you know the proposed dates once we nail them down.

Thanks again!

Megan Williams, RPP, MCIP
Planning Officer

City of Summerside
[275 Fitzroy Street](#)
[Summerside, PE C1N 1H9](#)

Direct Line: 902-432-1260
Fax: 902-436-3191
Email: megan.williams@summerside.ca
Website: www.summerside.ca

This e-mail is directed in confidence solely to the persons to whom it is addressed and may not otherwise be distributed, copied, or disclosed. If you have received this e-mail in error, please reply to the sender advising of the error and destroy the original message, without making a copy. Thank you.

From: Jamie Rodgerson <rodgersonconstruction@gmail.com>
Sent: Monday, June 23, 2025 1:30 PM
To: Megan Williams <megan.williams@city.summerside.pe.ca>
Subject: Re: Proposed tiny home development

Snow would be piled and removed, and I don't think we'll have any issues if we place the bins in a designated area towards mill Cres.

On Fri, May 30, 2025, 4:10 PM Megan Williams <megan.williams@city.summerside.pe.ca> wrote:
Good afternoon Jamie!

Please find attached your proposed comprehensive development district for your tiny home development.

I'm still waiting on feedback from all of the team (I've given them til the end of next week) but still wanted to nudge this your way so you could have a chance to review and ask questions/share concerns.

I do have a couple of FYIs for you to consider that I won't be putting into the district:

- Snow clearing. Where it's a private road, snow clearing falls to you. Where will you be placing the snow?
- Waste management. You may want to have a chat with Island Waste Management to see if they have any preferences for how solid waste is taken care of.

I also received a couple of other comments I've not figured out how to integrate into the district yet:

Servicing

A water and sewer main construction extension agreement would be required with the following as the basis for the engineering design.

- The sewer main needs to be extended to the middle of this property from about 80 meters away on Mill Crescent
- The sewer for the new development on [185 Pope Road](#) will need to be minimum 200mm main with all services being minimum of 100mm
- The water system for the new development on [185 Pope Road](#) will need to be 200mm main looped from Mill Crescent to Pope Road servicing each building with a minimum 19mm water service complete with corporation and curb stops.
- The water system will need to be in an easement and turned over to the city upon passing all required testing as outlined in agreement
- All design and construction to meet current city servicing standards

Site Drainage/Access:

A storm drainage plan would be needed.

An access culvert will be needed for mill crescent. At the developers cost.

There is curb and gutter on Pope Road which will need access changes to be done at Developers cost

An allowance for the new active transportation along Pope road behind the existing curb will also need to be accommodated.

3.6 m width thru lane one way . (Better for Fire truck to navigate and or Van trailers)

Parking 2@ 3.10m each

Total of 9.5 m (32) (=/-)

The access is a private drive and will need one way and do not enter signage at the appropriate ends. Lane way to be marked private drive.

For Electric Utility:

- Zoning change is fine for electrical if developer can allocate space for needed infrastructure, Utility power is available for a development in this location from either Pope Rd or Mill Crescent.
- As the space from road to building is only 5ft this is not enough space for utility poles and overhead powerlines. Developer will be required to design and construct underground power network of high/low voltage cable (and telecoms). See recently constructed Dory View subdivision as example (attached). This will need to be design coordinated with utility water/sewer/storm and other infrastructure needs. Buildings may need to push further back from street, or larger gaps between some buildings to make space for all the needed equipment. Developer and their designer should book a meeting with Summerside Electric to discuss more detailed electrical plans if/when proceeding.

Have a fabulous weekend! Talk to you soon.

Megan Williams, RPP, MCIP

Planning Officer

City of Summerside

[275 Fitzroy Street](#)

[Summerside, PE C1N 1H9](#)

Direct Line: 902-432-1260

Fax: 902-436-3191

Email: megan.williams@summerside.ca

Website: www.summerside.ca

This e-mail is directed in confidence solely to the persons to whom it is addressed and may not otherwise be distributed, copied, or disclosed. If you have received this e-mail in error, please reply to the sender advising of the error and destroy the original message, without making a copy. Thank you.

Linda Stevenson

From: Jamie Rodgerson <rodgersonconstruction@gmail.com>
Sent: Wednesday, August 20, 2025 11:17 AM
To: Linda Stevenson; JP Desrosiers
Subject: Pope Rd development

Hey guys,

Sorry I didn't make it to the most recent meeting I didn't get the notification about it. I'd like to request that it goes to the Sept. 2nd meeting if possible if it's not already on the agenda, reason being, if all goes forward, we plan to break ground before the winter. I have some civil work contractors in place that are looking for firm commitments aswell as deposits. I don't want any hiccups during the process that can be mitigated over the course of the next month as the timing of it all is pinnacle for me.

Thanks!

Jamie

Linda Stevenson

From: Linda Stevenson <linda.stevenson@city.summerside.pe.ca>
Sent: Wednesday, August 20, 2025 3:51 PM
To: Jamie Rodgerson; JP Desrosiers
Cc: Megan Williams
Subject: RE: Pope Rd development

Hi Jamie

The final decision regarding your application will be made on September 2. Should the Council approve the proposed amendments to enable CDA zoning, please be advised that any Council decision may be subject to an appeal within 21 days of the decision date. If approved, the City's documentation will be forwarded to the Province for official approval. During or following the 21-day appeal period and prior to receiving official approval from the Province, you may proceed with work at your own risk.

You are encouraged to submit your required plans for site plan approval and/or building permits at your earliest convenience. Prompt submission of these documents will facilitate a timely review process and expedite the issuance of permits.

Regards,
Linda

From: Jamie Rodgerson <rodgersonconstruction@gmail.com>
Sent: Wednesday, August 20, 2025 11:17 AM
To: Linda Stevenson <linda.stevenson@city.summerside.pe.ca>; JP Desrosiers <jp@summerside.ca>
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Thanks!

Jamie

Linda Stevenson

From: Jamie Rodgerson <rodgersonconstruction@gmail.com>
Sent: Wednesday, August 20, 2025 3:56 PM
To: Linda Stevenson
Subject: Re: Pope Rd development

Hey thanks Linda,

I have submitted my building permit and development plan a long while back when I did the rezoning application! Please let me know if it's not on file.

And yes I would wait for the appeal process, but would start moving dirt nonetheless.

Thanks again!

On Wed, Aug 20, 2025, 3:51 PM Linda Stevenson <linda.stevenson@city.summerside.pe.ca> wrote:

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Thanks!

Jamie

From: [Linda Stevenson](#)

Sent: August 20, 2025 4:11:14 PM

To: [Jamie Rodgerson](#)

Cc: [JP Desrosiers](#); [Megan Williams](#); [Aaron MacDonald](#); [Tony Gallant](#); [Gary McInnis](#); [Garrett Webster](#); [Mike Straw](#)

Subject: RE: Pope Rd development

Sensitivity: Normal

Attachments:

[185 Pope Road Site Plan.pdf](#);

Jamie

The site plan submitted for the rezoning, was suitable for that purpose, but we will require more detail for site plan approval. Any plans you have submitted to date are clearly mark "Preliminary and Not For Construction". You will need to provide drawings for servicing (water, sewer storm or electric). At the public meeting you also noted you may revise the number of units and the sizes. Please provide this information at your convenience. Please see comments noted below from the electric utility.

I have copied all staff so they can inform you of what plans and documentation will be required. I understand we will require an easement from you for the water and sewer services, so a legal survey plan will be required as well.

Regards,
Linda

The City's water supply and sewer treatment systems can handle the loading from this proposed CDA development. This development fronts Pope Road and Mill Crescent, a one-way access from Pope Road (entrance) to exit on to Mill Crescent. The proposed access locations meet the City standards. This access already exists along Pope Road and a new access will need to be installed on the Mill Crescent with a culvert across the existing ditch system at the developers cost. The development will have access to a city sidewalk on the south side of Pope Road. The development will be required to provide a drainage plan showing how the drainage will flow from the site will be directed to the city storm systems on Pope and Mill Crescent. Summerside Electric has identified there is inadequate space to provide overhead powerlines on currently proposed layout plans and given street/building density. Developer must allocate space for underground powerlines and ground mounted transformers/URD boxes. It is believed this will require elimination or relocation of some structures to make room for electrical equipment. The developer is responsible to submit engineering plans for underground electric servicing to Summerside Electric to review. All costs of UG electrical construction and design is at the developer's cost. Once plans are available, Summerside Electric will offer quotes. The Crescent Drive Park is located within 720m from the subject property. Parkland dedication is calculated upon subdivision of lands, this development will not be further subdivided, thus parkland dedication is not applicable in this application.

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Sent: Wednesday, August 20, 2025 11:17 AM

To: Linda Stevenson <linda.stevenson@city.summerside.pe.ca>; JP Desrosiers <jp@summerside.ca>

Subject: Pope Rd development

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Thanks!

Jamie

RECEIVED
APR 08 2024

Revision:

Jamie
Rodgers &
Sons

Project
Tiny Homes
Development

Sheet Title:

Client Rep:

Jamie R.

Scale:

As noted

Issue Date:

March 18 2024

Drawn By:

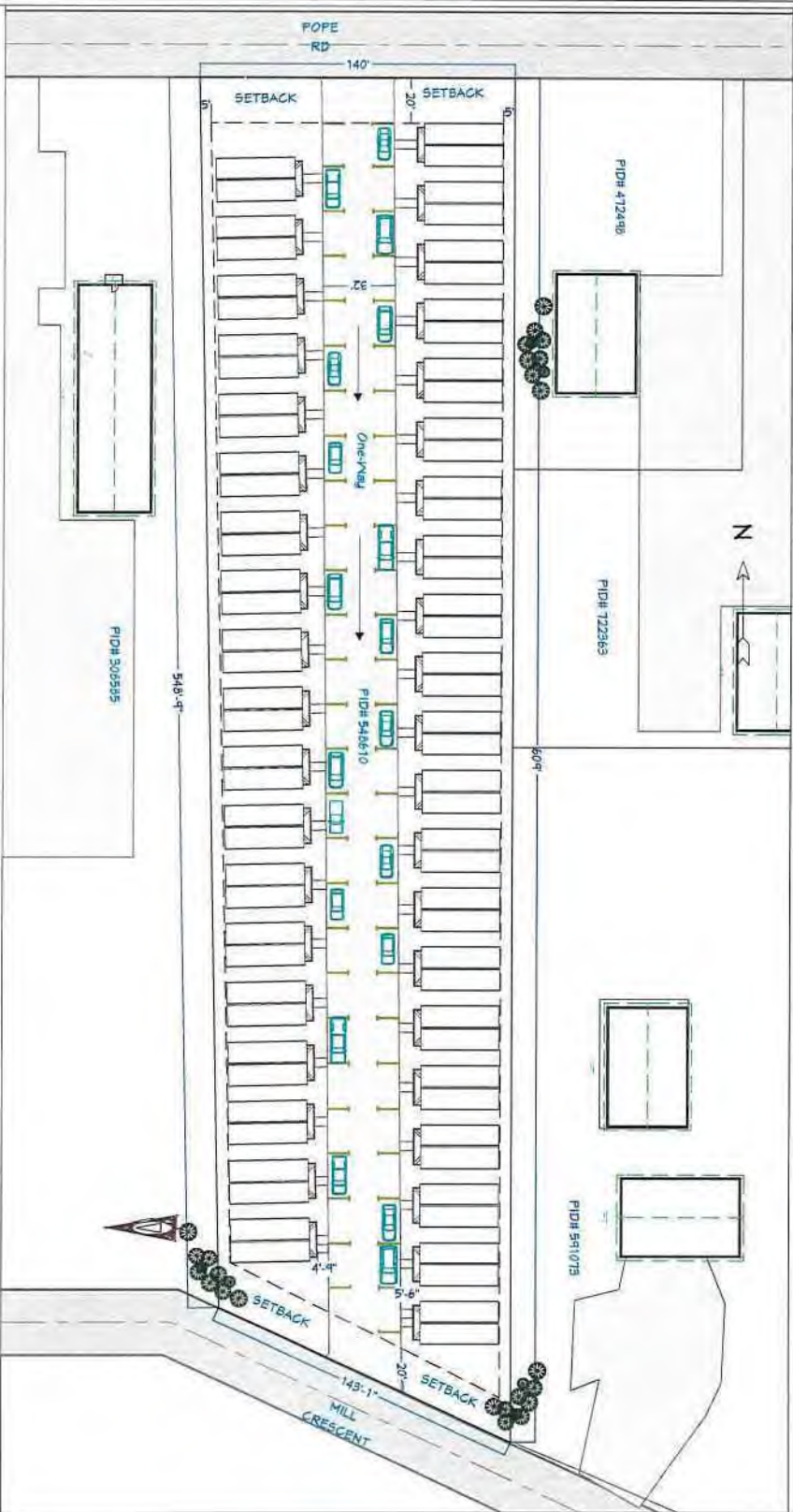
K.G.

Drawn By:

S102

NOTES:

- 1 Property line measurements are approximate and subject to professional site survey.
- 2 There are 40 homes with 53 parking spots.
- 3 Total property size is 77,900sq/ft.
18,600sq/ft of roadway(24%)
20,480sq/ft of buildings(26%)
38,820sq/ft of green space(50%)
- 4 Homes are separated 2.4 metres in accordance to Section 3.2.3.1 of NBC2015 to meet minimum fire separation. This code requires no more than 0.35m2 window area on exposed walls.



Preliminary
Not for Construction
Print on 11"x17"
Scale: 1" = 50' - 0"

From: [Mike Straw](#)

Sent: August 21, 2025 8:13:13 AM

To: [Jamie Rodgerson](#)

Cc: [JP Desrosiers](#); [Megan Williams](#); [Aaron MacDonald](#); [Tony Gallant](#); [Gary McInnis](#); [Garrett Webster](#); [Linda Stevenson](#)

Subject: RE: Pope Rd development

Sensitivity: Normal

Attachments:

[185 Pope Road Preliminary Plans.pdf](#);

Hi Jamie,

Regarding the building plans, the only plans I'm aware of are the plans Linda noted (attached). The plans are incomplete and require additional information:

- Foundation Plan
- Cross-Section noting framing and insulation information

The preliminary site plan notes the units are spaced at 2.4m, at that spacing there are restrictions for the construction of the soffits per NBC 2020 9.10.15.5.(11):

11) Where roof soffits project to less than 1.2 m from the property line, the centre line of a *public way*, or an imaginary line between two *buildings* or *fire compartments* on the same property, they shall

- a) have no openings, and
- b) be protected by
 - i) not less than 0.38 mm thick sheet steel,
 - ii) unvented aluminum conforming to CAN/CGSB-93.2-M, "Prefinished Aluminum Siding, Soffits, and Fascia, for Residential Use,"
 - iii) not less than 12.7 mm thick gypsum soffit board or gypsum ceiling board installed according to CSA A82.31-M, "Gypsum Board Application,"
 - iv) not less than 11 mm thick plywood,
 - v) not less than 12.5 mm thick OSB or waferboard, or
 - vi) not less than 11 mm thick lumber.

(See Note A-3.2.3.6.(2).)

The plans will need to detail how the soffits will be constructed to meet the restrictions and how the roof will be ventilated without use of the soffits.

The alternative is to increase the building spacing from 2.4m to include the soffit projections (example 2.4m +16"soffit+ 16"soffit = **3.2m** from building face to face)

The building permit application should be submitted with the information (project cost) for one unit, each unit will require a separate permit and will be referenced to the unit numbers provided on the site plan.

Regards,

Mike Straw

Building Officer

City of Summerside

Technical Services Department

275 Fitzroy St

Summerside PE C1N 1H9

902-439-2991

|

From: Linda Stevenson <linda.stevenson@city.summerside.pe.ca>

Sent: August 20, 2025 4:11 PM

To: Jamie Rodgerson <rodgersonconstruction@gmail.com>

Cc: JP Desrosiers <jp@summerside.ca>; Megan Williams <megan.williams@summerside.ca>; Aaron MacDonald <aaron@summerside.ca>; Tony Gallant <Tony@summerside.ca>; Gary McInnis <gary@summerside.ca>; Garrett Webster <garrett.webster@summerside.ca>; Mike Straw <mike.straw@summerside.ca>

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Jamie



Revision:

Jamie
Rodgersen &
Sons

Project:
Tiny Homes
Development

Sheet Title:

Cover Sheet

Client Rep:

Jamie R.

Scale:

As noted

Issue Date:

March 18 2024

Drawn By:

K.G.

Drawing:

S100

Documents:

- S100 - Cover sheet
- S101 - Site Plan
- S102 - Site Plan Renderings
- S103 - Floor Plan - 1 Story - 2 Bedroom - 16'x32'
- S104 - Side Elevations

RECEIVED

APR 08 2024

Preliminary
Not for Construction
Print on 11"x17"

RECEIVED

APR 08 2024

Revision:

Jamie
Rodgers &
Sons

Project:
Tiny Homes
Development

Sheet Title:

V1 - 1 story
- 2 Bedroom
- 16x32

Client Rep:

Jamie R.

Scale:

As noted

Issue Date:

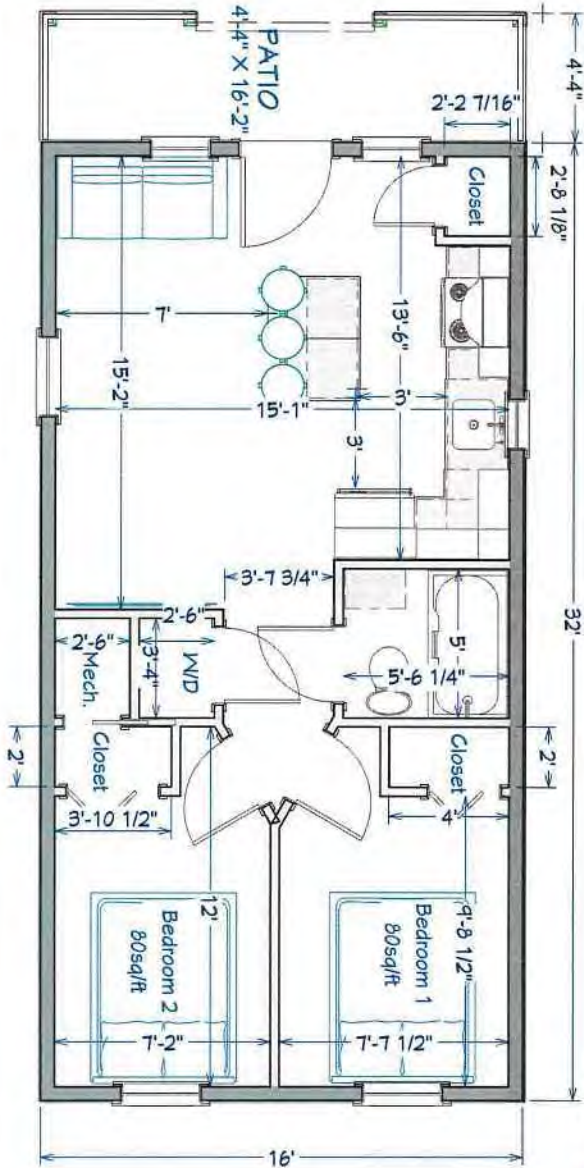
March 18 2024

Drawn By:

K.G.

Drawn By:

S103



Front Elevation

Back Elevation

Preliminary
Not for Construction
Print on 11"x17"
Scale: 1/4" = 1' - 0"

RECEIVED
APR 08 2024

Project
Ting Homes
Development

Revision:

Jamie
Rodgersen &
Sons

Sheet Title:
Side
Elevations

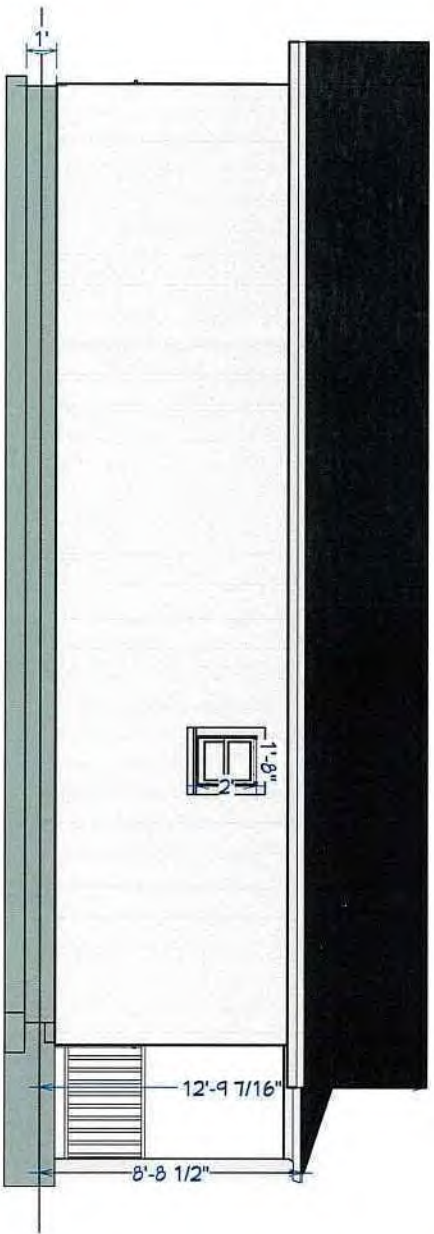
Client Rep:
Jamie R.

Scale:
As noted

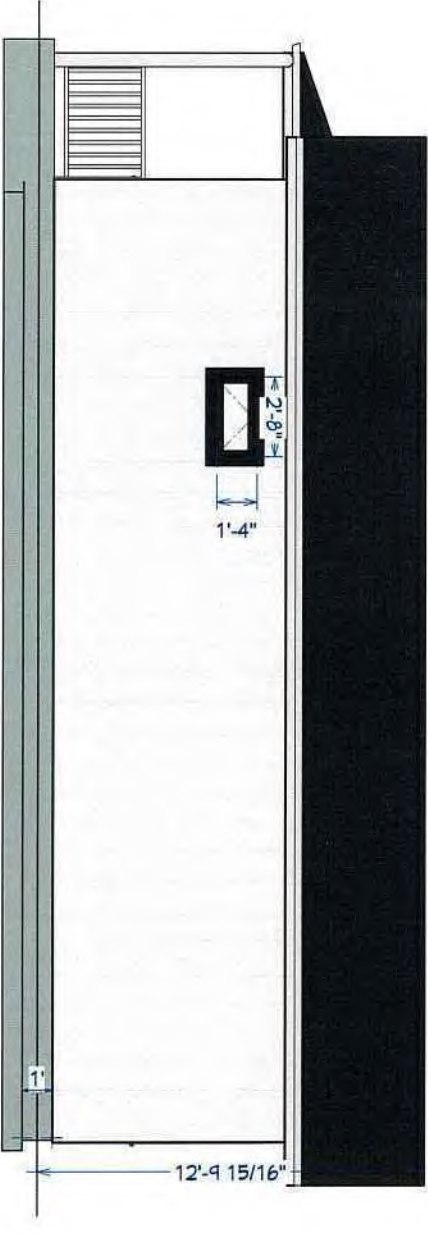
Issue Date:
March 18 2024

Drawn By:
K.G.

Drawing:
S104



Left Elevation



Right Elevation

Preliminary
Not for Construction
Print on 11"x17"
Scale: 1/4" = 1' - 0"

From: [Tony Gallant](#)
Sent: August 21, 2025 9:17:00 AM
To: [Linda Stevenson](#); [Jamie Rodgerson](#)
Cc: [JP Desrosiers](#); [Megan Williams](#); [Aaron MacDonald](#); [Gary McInnis](#); [Garrett Webster](#); [Mike Straw](#)
Subject: RE: Pope Rd development
Sensitivity: Normal

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Tony Gallant, P.Eng.,
Municipal Engineer

City of Summerside
275 Fitzroy Street
Summerside, PE C1N 1H9

Facsimile: 902-436-3191
Mobile: 902-888-7888
E-mail: Tony.Gallant@city.summerside.pe.ca
Website: www.summerside.ca

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From: [Gary McInnis](#)

Sent: August 21, 2025 10:15:04 AM

To: [Tony Gallant](#); [Linda Stevenson](#); [Jamie Rodgerson](#)

Cc: [JP Desrosiers](#); [Megan Williams](#); [Aaron MacDonald](#); [Garrett Webster](#); [Mike Straw](#)

Subject: RE: Pope Rd development

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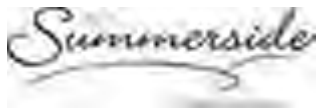
Attachments:

[01603 - Storm Drainage System - Acceptable Materials - february 2021.pdf](#); [02223 - Excavation, Trenching and Backfilling - July 2019.pdf](#); [02516 - Storm Drainage System - March 2019.pdf](#);

Jamie, A drainage lay out will be required for the development on the site plan. And Building foundation finish floor elevations for the units based on the Centerline of Pope Road center line in the center of the lot .

The Mill crescent exit will require a culvert the diameter needed will be 600 mm type to City Specifications (can be installed by the development contractor)

Acceptable materials are in the specifications attached.



Gary McInnis

Assistant Municipal Engineer

City of Summerside

Technical services Department

3rd floor , City Hall

275 Fitzroy street

Summerside, PEI

C1N 1H9

phone 902 439 4322

Fax 902 436 3191

e-mail gary@summerside.ca

Statement of Confidentiality

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01603 - Storm Drainage System - Acceptable Materials - february 2021.pdf

PART 1.0 - MAINS

1.1 Pipe

- .1 All storm drainage system lines shall consist of precast reinforced concrete pipe, or PVC DR35 pipe, or Dual Wall corrugated PVC (DWC), or Open Profile dual wall High Density Polyethylene (HDPE) / Open Profile dual wall Polypropylene pipe (PP) or Profile triple wall Polypropylene (PP), SDR 35 PVC Open Profile Pipe.
- .2 All precast reinforced concrete pipe shall be class three as outlined in Table 3, ASTM C76M-88. All precast reinforced concrete pipe shall conform to ASTM C76M, ASTM C655M and CSA A257.2 and shall be gasketed bell and spigot type.
- .3 PVC DR35 pipe shall meet the requirements and be certified to CAN/CSA B1800-18, ASTM D3034 and/or ASTM F679 with a pipe stiffness of 320 KPA.
- .4 PVC dual wall corrugated (DWC) pipe shall meet the requirements and be certified to CAN/CSA B1800-18, with a pipe stiffness of 320 KPA.
- .5 Open Profile dual wall High Density Polyethylene (HDPE) pipe shall meet the requirements and be certified to CAN/CSA B1800-18, with a pipe stiffness of 320 KPA.
- .6 DR35 PVC Open Profile Pipe shall meet the requirements and be certified to CAN/CSA B1800-18, with a pipe stiffness of 320 KPA.
- .7 Open Profile dual wall Polypropylene (PP) pipe shall meet the requirements and be certified to CAN/CSA B1800-18, with a pipe stiffness of 320 KPA.
- .8 Profile Triple wall Polypropylene (PP) pipe shall meet the requirements and be certified to CAN/CSA B1800-18, with a pipe stiffness of 320 KPA.
- .9 All pipe materials shall be clearly identified with the manufacturer's name and strength class or category; and showing year and date of manufacture.

1.2 Pipe Joints

- .1 Precast reinforced concrete pipe shall be gasket bell and spigot water tight joints conforming to ASTM C361, ASTM C443 and CSA A257.3.
- .2 PVC DR35 pipes shall be bell and spigot type and fittings shall be water tight with integral bells conform to ASTM D3212.

- .3 PVC dual wall corrugated (DWC) pipe and fittings shall be water tight with integral bells and certified and conform to Open Profile dual wall Polypropylene (PP) pipe shall meet the requirements and be certified to CAN/CSA B1800-18, with a pipe stiffness of 320 KPA.
- .4 Open Profile dual wall high density polyethylene (HDPE) pipe integral bell and spigot and type 1 water tight joints with integral bells, all fittings shall be certified and conform to CAN/CSA B1800-18 and be water tight joints with integral bells and spigot.
- .5 DR35 PVC Open Profile Pipe shall meet the requirements and be certified to CAN/CSA B1800-18, and be water tight joints with integral bells and spigot.
- .6 Open Profile dual wall Polypropylene (PP) pipe, with integral bell and spigot and water tight joints with integral bells) fittings shall be certified and conform to CAN/CSA B1800-18, and have water tight joints with integral bells and spigot.
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1.3 **Approved Products**

- .1 Approved Storm main products: Strescon, Shaw pipe, Soleno Solflo Max, IPEX PVC , IPEX Ultra Rib, Armtech Boss 2000 ADS Sanitite HP Sewer Pipe

1.4 **Pipe Inlets / Outlets**

- .1 All new storm inlets and outlets greater than or equal to 300 mm diameter to have installed an inlet or outlet grating as supplied by Campbell's Concrete or Equalivant as approved by the City Engineer.
- .2 All storm inlets and outlets grates are to be galvanized and painted black in color.
- .3 inlet and outlet grating to conform to standard details section 17000 detail 02516-4 or 02516-5.

PART 2 – MANHOLES AND CATCH BASINS

2.1 General

- .1 All storm manholes and catch basins shall be constructed of precast concrete sections as per ASTM C478-88, “Standard Specifications for Precast Reinforced Concrete Manhole Sections.”
- .2 The words “manhole” and “catch basin” shall be used interchangeably with reference to this specifications. The diameter of the manhole is to be as shown on the drawings and details.
- .3 All storm manholes and catch basins are to have a minimum of 300 mm sump with a solid precast reinforced concrete bottom.

.4 Table of Catch Basins Types and Diameters

Type	Diameter (mm)
Catch pit	650 mm
Type A	750 mm
Type B	1050 mm
Type C	1200 mm
Type D	1500 mm
Type E	1800 mm
Type F	2100 mm
Type G	2400 mm
Type H	3000 mm
Type I	3600 mm

- a) Catch basins shall be 3600 mm, 3000 mm, 2400 mm, 2100 mm, 1800 mm, 1500 mm, 1200 mm and 1050 mm diameter structures complete with integral base and flat top. These will be topped with minimum of 300 mm high reinforced grade rings to reduce the diameter to 600 mm.
- b) Catch basins required for laterals across streets shall be 750 mm diameter standard catch pits structures complete with integral base. These catch basins shall be known as type “A”.
- c) Catch Pits required for end of line laterals in residential lawn areas shall be 650 mm diameter standard catch pits structures complete with integral base. These catch basins shall be known as “Catch Pits”.

- .5 All tongue and groove joints between the successive catch basins elevation grade rings and base or top sections shall be “O” ring type or double wrap “Ramnek” gasket.
- .6 If “Ramnek” is to be used on tongue and groove joints, a double wrap of “Ramnek” shall be supplied and installed, and if an “O” ring is to be used, it shall be supplied complete with a sufficient quantity of lubricant.
- .7 All deleterious materials are to be cleaned from tongue and groove joints before a double wrap of “Ramnek” is installed.
- .8 All catch basin elevation grade rings and flat top joints and pipe connection areas to be grouted on the inside and outside for watertight seal, before backfill of structures.
- .9 All manholes shall be supplied with a minimum of 300 mm of grade rings included in the total depth to allow for final height adjustments in the field. A maximum of 75 mm tapered (sloped) rubber grade ring to be used to match frame and cover to roadway slope. Grade rings to be sealed with a double wrap of “Ramnek”. “No” concrete rings will be allowed of thickness less than or equal to 75 mm.
- .10 All the catch basin lifting holes, or gasketed pipe connections, to be grouted for watertight seal inside and outside, before backfill of structures.

2.2 **Frames and Covers**

- .1 Round Manhole frames and solid covers shall be IMP R-10, 600 mm diameter of a mass not less than 145 kg or approved equal.
- .2 Round Catch basin frames and grated covers shall be IMP R-11, 600 mm diameter of a mass not less than 140 kg or approved equal.

2.3 **Grade Rings**

- .1 Adjustments to manhole tops shall be made using precast reinforced grade rings or Flex-O-Ring recycled rubber grade rings as manufactured by ASR Presfab Rubtech Inc. Concrete grade rings to be used for elevation changes of a min of 100 mm thickness or greater; and rubber grade rings for less than 75 mm thickness elevation changes.

PART 3 –CATCH TEE’S

3.1 General

- .1 All storm Catch Tees shall be constructed of approved storm main Pipe and Fittings as per Part 1.0 sections 1.1 and 1.2.
- .2 The words “manhole” and “catch basin” “catch tee” shall be used interchangeably with reference to this specifications. The diameter of the manhole is to be as shown on the drawings and details.
- .3 Catch Tee’s will be comprised of a tee fitting to the diameter of acceptable storm main being placed and a vertical riser pipe of 300 mm diameter unless noted otherwise of similar acceptable storm main and a grated cover. Comprised of materials as per section 3.1.1.
- .4 All joints between the successive catch tee riser pipes to meet Part 1.0 Joints section 1.2 standards.
- .5 All deleterious materials are to be cleaned from joints before lubrication is applied to insure quality water tight seal.

3.2 Frames and Covers

- .1 Catch Tee Covers shall be Campbell’s Concrete Type or manufacture approved equal.

3.3 Fittings

- .1 All Catch Tee fittings to meet Part 1.0 section 1.2 Pipe Joints specification.

02223 - Excavation, Trenching and Backfilling - July 2019.pdf

PART 1.0 - GENERAL

- 1.1 **Definitions**
- .1 **Rock Excavation:** excavation of material from solid masses of igneous, sedimentary or metamorphic rock which, prior to its removal, was integral with its parent mass, and boulders or rock fragments having individual volume in excess of 1 cubic meter.
 - .2 **Common Excavation:** excavation of materials of whatever nature, which are not included under definitions of rock excavation including asphalt, dense tills, hardpan, frozen materials and partially cemented materials which can be ripped and excavated with heavy construction equipment.
 - .3 For the purpose of any measurement, theoretical trench width is considered to be one (1) meter wide for all excavation descriptions.
- 1.2 **Protection of Existing Features**
- .1 Existing buried utilities and structures:
 - .1 Size, depth and location of existing utilities and structures as indicated are for guidance only. Completeness and accuracy are not guaranteed.
 - .2 Prior to commencing any excavation work, notify applicable owner or authorities, establish location and state of use of buried utilities and structures. Clearly mark such locations to prevent disturbance during work.
 - .3 Confirm locations of buried utilities by careful test excavations.
 - .4 Maintain and protect from damage, water, sewer, gas, electric, telephone and other utilities and structures encountered as indicated. Obtain direction of Engineer before moving or otherwise disturbing utilities or structures.
 - .5 Advise utility company to reroute existing lines in area of excavation. Pay costs for such work and incorporate any cost in the unit prices. No extra will be allowed.
 - .6 Existing subsurface utility pipes and utility lines are present within the construction zone. The Contractor shall protect all existing pipes from damage and shall be responsible for repairing any damage at no cost to the City of Summerside.
-

1.3 Measurement
for Payment

- .1 There will be no payment item for excavation trenching and backfill unless an item is included in the Schedule of Contract Unit Prices.
- .2 Rock excavation will be measured in cubic meters using the average end area method between changes in rock cross section. Dimensions used to calculate end areas shall be theoretical trench width and depth from surface of rock as exposed on sides of trench after excavation to bottom of specified bedding for each pipe trench.
- .3 Boulders larger than one cubic meter, any portion of which is within theoretical trench will be classified as rock and measured following removal from trench.
- .4 Cubic meter measurement will be full compensation for excavation, disposal, backfill, labour and material.

PART 2.0 - PRODUCTS

2.1 Materials

- .1 Type 1 fill: hand selected, hand placed, excavated material approved by the Engineer, free from shale, clay, friable materials, organic matter and other deleterious substances.
 - .2 Type 2 fill: selected material from excavation or other sources, approved by Engineer for use intended and free from rocks, larger than 75 mm, cinders, ashes, sods, refuse or other deleterious materials.
 - .3 Common Borrow/Fill shall be non-plastic and free from lumps of clay or other deleterious material and shall have a maximum of 35% passing the 75 µm Sieve. Regardless of the properties, use of common borrow/Fill shall be subject to the approval of the Engineer and in accordance with the current Department of Transportation and Public Works Specification - Borrow from Pit.
 - .4 Sandstone shall be composed of clean, uncoated particles free from lumps of clay or other deleterious materials of which no more than 15% shall pass a 75 um sieve and no material shall be retained on a 100 mm sieve. Regardless of the properties, use of Sandstone /Premium Borrow shall be subject to the approval of the Engineer and in accordance with the current Department of Transportation and Public Works Specification - Borrow from Pit.
-

- .5 Drainage Gravel shall be Class D Aggregate in accordance with the Current Department of Transportation and Public Works Specification - Aggregate.
- .6 Bedding Sand shall be in accordance with the current Department of Transportation and Public Works Specification - Bedding Sand.
- .7 Class "A" Gravel:
- .1 Aggregate quality: sound, hard durable material free from soft, thin, elongated or laminated particles, organic material or other deleterious substances.
- .2 Flat and elongated particles are those whose greatest dimension exceeds five times their least dimension.
- .3 Class "A" gravel shall meet the following requirements:
- .1 Gradation to be within the following limits when tested to ASTM C136 and giving a smooth curve without sharp breaks and when plotted on a semi-log grading chart.
- | ASTM Sieve Designation | % Passing By Mass |
|------------------------|-------------------|
| 31.5 mm | 100 |
| 25.0 mm | 95-100 |
| 12.5 mm | 50-83 |
| 4.75 mm | 30-60 |
| 1.18 mm | 15-40 |
| 600 µm | 10-32 |
| 300 µm | 5-22 |
| 75 µm | 3-6 |
- .2 Los Angeles Abrasion to ASTM C131-06 maximum percent loss by mass: 35.
- .3 The crushed material shall be a minimum of 50 percent by mass retained on a 4.75 mm sieve having 2 or more mechanically fractured faces.
- .4 Petrographic number: 150.

- .4 Class "D" gravel shall meet the following requirements:
- .1 Gradation to be within the following limits when tested to ASTM C136 and giving a smooth curve without sharp breaks and when plotted on a semi-log grading chart.
- | ASTM Sieve Designation | % Passing By Mass |
|------------------------|-------------------|
| 50.0 mm | 100 |
| 45.0 mm | - |
| 38.0 mm | 60-100 |
| 31.5 mm | 40-100 |
| 25.0 mm | 20-65 |
| 19.0 mm | 0 -30 |
| 12.5 mm | 0-20 |
| 4.75 mm | 0-5 |
| 1.18 mm | - |
| 600 µm | - |
| 300 µm | - |
| 75 µm | - |
- .2 Los Angeles Abrasion to ASTM C131-06 maximum percent loss by mass: 50.
- .3 The crushed material shall be a minimum of 75 percent by mass retained on a 4.75 mm sieve having 2 or more mechanically fractured faces.
- .4 Petrographic number: 150.

PART 3.0 - EXECUTION

- 3.1 **Site Preparation**
- .1 Remove obstructions, ice and snow, from surfaces to be excavated within limits indicated.
- .2 Strip topsoil from within limits of excavation and stockpile as directed by Engineer for re-spreading after backfilling.
- 3.2 **Stockpiling**
- .1 Stockpile fill materials in areas approved by Engineer. Stockpile granular materials in manner to prevent segregation.
-

-
- .2 Protect fill materials from contamination.
- 3.3 **Dewatering**
- .1 Keep excavations free of water while work is in progress.
- .2 Protect open excavations against flooding and damage due to surface run-off.
- .3 Dispose of water in a manner not detrimental to public and private property, or any portion of work completed or under construction.
- .4 Submit for Engineer's review details of proposed dewatering methods.
- .5 If the bottom of the trench is wet the Contractor is to contact the Engineer for further instructions.
- 3.4 **Excavation**
- .1 Advise Engineer in advance of excavation operations to enable original cross sections to be taken.
- .2 Excavate to lines, grade, elevations and dimensions indicated.
- .3 Excavation must not interfere with bearing of bottom of any footing.
- .4 For trench excavation, unless otherwise authorized by Engineer in writing, do not excavate more than 30 m of trench in advance of installation operations and do not leave open at end of day's operation.
- .5 Dispose of surplus and unsuitable excavated material off site as directed by the Engineer.
- .6 Do not obstruct flow of surface drainage or natural watercourses.
- .7 Earth bottoms of excavations to be undisturbed soil, level, free from loose, soft or organic matter.
- .8 Notify Engineer when soil at bottom of excavation appears unsuitable and proceed as directed by engineer.
- .9 Obtain Engineer's approval of completed excavation.
- .10 Remove unsuitable material from trench bottom to extent and depth directed by Engineer.
-

- .11 Where required due to unauthorized over-excavation, correct as follows:
 - .1 Fill under bearing surfaces and footings with gravel.
 - .2 Fill under other areas with Type 1 fill compacted to minimum of 100% Standard Proctor Density to ASTM D698-78.
- .12 Hand trim, make firm and remove loose material and debris from excavations. Where material at bottom of excavation is disturbed, compact foundation soil to density at least equal to undisturbed soil.

3.5 Fill Types and
Compaction

- .1 Use fill of types as indicated or specified below. Unless otherwise specified, compact to following densities:
 - .1 Type 1 Fill: 100 % Standard Proctor Density.
 - .2 Type 2 Fill: 100 % Standard Proctor Density.
 - .3 Common Borrow / Fill 90 % Standard Proctor Density.
 - .4 Sandstone: 100 % Standard Proctor Density.
 - .5 Class "A": 100 % Standard Proctor Density.
 - .6 Drainage Stone Class "D" 98 % Standard Proctor Density.
- .2 Contractor must meet the compaction requirements for the type of fill used. Should settlement occur in the trench during the maintenance period, Contractor will be required to repair settled area and may be required to give an additional year of maintenance for that area. The City may choose to retain an amount of money for this additional maintenance period to cover costs of potential repairs.

3.6 **Backfilling**

- .1 Do not proceed with backfilling operations until engineer has inspected and approved installations and approved all material to be used in backfilling operations.
 - .2 Areas to be backfilled to be free from debris, snow, ice, water or frozen ground.
 - .3 Do not use backfill material which is frozen or contains ice, snow or debris.
-

- .4 Backfilling around installations:
 - .1 Place bedding and surround materials as specified elsewhere.
 - .2 Do not backfill around or over cast-in-place concrete within 24 hours after placing.
 - .3 Place layers simultaneously on both sides of installed work to equalize loading.
 - .4 Place material by hand under, around and over installations until 750 mm of cover is provided. Dumping material directly on installations will not be permitted.
- .5 Place backfill material in uniform layers not exceeding 150 mm compacted thickness up to grades indicated. Compact each layer before placing succeeding layer.
- .6 All pipe to be imbedded in a minimum of 300 mm of hand placed Type 1 material above the top of pipe. Hand pick all stones with a maximum dimension of 50 mm in this area. The remainder of the material to be Type 2.
- .7 It is the City's intention to reuse as much existing material as possible when backfilling utility trenches. If excavated material is deemed unacceptable by the Engineer, then there will be a requirement to remove excavated material from site and replace this material with good quality sandstone, bedding sand or gravel as directed by the Engineer.
- .8 Bidders are advised that no mains or services are to be backfilled prior to inspection by the Engineer or designate staff inspector.

3.7 **Restoration**

- .1 Upon completion of work, remove surplus materials and debris, trim slopes, and correct defects noted by Engineer.
- .2 Reinstall pavement and sidewalks to condition and elevation which existed before excavation.
- .3 Clean and reinstall areas affected by work as directed by Engineer.
- .4 All Street and driveway asphalt mixed to meet Prince Edward Island Department of Transportation and Public Works specifications section 600.

- 3.8 **Public Safety** .1 No excavation is to be left open overnight except with written approval of the Engineer and subject to any conditions set by the Engineer at the contractor's cost.

02516 - Storm Drainage System - March 2019.pdf

PART 1.0 - GENERAL

- 1.1 **Work Included** .1 This section specifies requirements for supply and constructing storm system and culverts. Work includes supply and installation and backfilling of pipe, fittings and connections.
- 1.2 **Certificates** .1 Submit manufacturers' test data and certification that products and materials meet requirements of this Section.
- .2 All materials must be new.
- 1.3 **Handling and Storage** .1 Handle and store pipe and fittings in such manner as to avoid shock and damage. Do not use chains or cables passed through pipe bore.
- .2 Store gaskets in cool location, out of direct sunlight, and away from petroleum products.
- 1.4 **Grades** .1 All catch basin inverts are implied centerline elevations at the center of each catch basin.

PART 2.0 - PRODUCTS

- 2.1 **General** .1 Diameter, material, strength class and dimensional ratio of pipe and fittings: as indicated. All pipe to be stiffness class 320 KPA, and Reinforced Concrete pipe to be class three.
- .1 300 mm diameter, reinforced concrete pipe or PVC Pipe DR-35, open profile dual wall HDPE and Polypropylene (PP), dual wall corrugated PVC, Dr35 PVC open profile pipe.
- .2 375 mm diameter, reinforced concrete pipe or PVC Pipe DR-35, open profile dual wall HDPE and Polypropylene (PP), dual wall corrugated PVC, Dr35 PVC open Profile pipe.
- .3 450 mm diameter, reinforced concrete pipe or 450 mm diameter PVC Pipe DR-35, open profile dual wall HDPE and Polypropylene (PP), dual wall corrugated PVC, Dr35 PVC open Profile pipe.

- .4 525 mm diameter, reinforced concrete pipe or 525 mm diameter PVC Pipe DR-35, open profile dual wall HDPE and Polypropylene (PP), dual wall corrugated PVC, Dr35 PVC Open Profile pipe.
- .5 600 mm diameter, reinforced concrete pipe or 600 mm diameter PVC Pipe DR-35, open profile dual wall HDPE and Polypropylene (PP), dual wall corrugated PVC, Dr35 PVC Open Profile pipe.
- .6 750 mm diameter, reinforced concrete pipe or 750 mm diameter PVC Pipe DR-35, dual wall HDPE, open profile dual wall HDPE and Polypropylene (PP), Open profile triple wall Polypropylene (PP), dual wall corrugated PVC.
- .7 900 mm diameter, reinforced concrete pipe or 900 mm diameter PVC Pipe DR-35, dual wall HDPE, open profile triple wall Polypropylene (PP), dual wall corrugated PVC.
- .8 1050 mm diameter, reinforced concrete pipe, open profile triple wall Polypropylene (PP).
- .9 1200 mm diameter, reinforced concrete pipe, open profile triple wall Polypropylene (PP).
- .10 1500 mm diameter, reinforced concrete pipe, open profile triple wall Polypropylene (PP).

2.2 **Joints**

- .1 Joints: bell and spigot with integrated water tight gasket.
- .2 Joints: dual wall HDPE Type1 Water tight gasketed, with integral bell and spigot.
- .3 Joints: Concrete Structure adapters for open profile dual wall HDPE pipes and Type 1 Water tight gasketed with integral bell and spigot. Contractor responsible to supply and confirm adapter type for structure gasket with the concrete structure manufacture.
- .4 Joints: Concrete Structure adapters for open profile dual wall PE pipes and Water tight gasketed, with integral bell and spigot. Contractor responsible to supply and confirm adapter type for structure gasket with the concrete structure manufacture.

- .5 Joints: Triple wall Profile PE: water tight gasketed, with integral bell and spigot.

2.2 Inlets/ Outlets

Grating

- .1 To be Campbell's Concrete type or approved Equal.
- .2 To be supplied and installed as per standard Details section 17000 Details 02156-4 and 02516-5

PART 3.0 - EXECUTION

3.1 **Preparation**

- .1 Carefully inspect products for defects and remove defective products from site.
- .2 Ensure that pipe and fittings are clean before installation.

3.2 Trenching,
Bedding and
Backfilling

- .1 Do trenching, bedding and backfilling to Section 02223.
- .2 Do not permit any trenches to be left unattended **and under no circumstances are trenches to be left open (not backfilled to grade) overnight.**
- .3 Trench alignment and depth require Engineer's approval prior to placing bedding material or pipe.
- .4 Do not backfill trenches until installed work has been checked and approved by Engineer or designate.

3.3 Concrete
Benching and
Encasement

- .1 Do concrete work in accordance with Section 03300. Place concrete to details indicated or directed.
- .2 Pipe may be positioned on concrete blocks to facilitate placing of concrete. Rigidly anchor or weight pipe to prevent flotation when concrete is placed if necessary.
- .3 Do not backfill over concrete within 24 hours after placing.

- .4 Concrete Benching of pipe to be completed when the invert of the crossing pipe is equal to or less than 300 mm.
- .5 Concrete benching to be from the mid line of the crossing pipe to the invert of the lower pipe.
- .6 The benching is to be a minimum of 500 mm wide x 500 mm long.
- .7 Pipes to be wrapped in Polyethylene plastic min 5 mil thickness prior to placing concrete benching minimum of 32 Mpa.

3.4 Granular
Bedding

- .1 Place Type 1 and Type 2 bedding materials in accordance with section 02223 or as directed by Engineer.
- .2 Shape bed true to grade and to provide continuous, uniform bearing surface for barrel of pipe. Do not use blocks when bedding pipe.
- .3 Shape transverse depressions as required to receive bell if bell and spigot pipe is used.
- .4 Compact full width of bed to at least 100% of corrected maximum dry density.
- .5 Fill excavation below bottom of specified bedding adjacent to manholes or structures with bedding material or backfill as directed.

3.5 Pipe
Installation

- .1 Lay and join pipe and fittings as specified herein and according to manufacturer's published instructions.
- .2 Lay pipe and fittings on prepared bed, true to line and grade indicated within the following tolerances:
Horizontal Alignment: 25 mm
Vertical Alignment: the lesser of 3 mm or more half the rise per pipe length.
- .3 Handle pipe with approved equipment. Do not use chains or cables passed through pipe bore so that weight of pipe bears upon pipe ends.

- .4 Commence laying at outlet and proceed in upstream direction with bell ends facing upgrade.
- .5 Prevent entry of bedding material, water or other foreign matter into pipe. Use temporary watertight bulkheads when pipe laying is not in progress.
- .6 Install gaskets in accordance with manufacturer's published instructions. During cold weather, store gaskets in heated area to assure flexibility.
- .7 Align pipe carefully before joining. Do not use excessive force to pipe sections.
- .8 Support pipes as required to assure concentricity until joint is properly completed.
- .9 Keep pipe joints free from mud, silt, gravel or other foreign material.
- .10 Avoid displacing gasket or contaminating with dirt, petroleum products, or other foreign material. Remove, clean, reinstall and lubricate gaskets so disturbed.
- .11 Complete each joint before laying next length of pipe.
- .12 Where deflection at joints is permitted, deflect only after the joint is completed. Do not exceed maximum joint deflection recommended by pipe manufacturer.
- .13 At structures provide flexible joint not more than 300 mm from outside face of structure.
- .14 Cut pipe as required for fittings or closure pieces, square to centerline, and as recommended by manufacturer.
- .15 Make watertight connections to manholes and catch basins. Use non-shrink grout when suitable gaskets are not available.
- .16 All catch basin pipe connection areas to be grouted on the outside for watertight seal before backfill of structures.
- .17 Plug lifting holes.
- .18 Upon completion of pipe laying and after Engineer has inspected pipe joints, place specified granular material to dimensions indicated or directed and in accordance with Section 02223.
- .19 Place underground warning tape 1.0 meter directly above sewer main.
- .20 Install Pipe inlet/outlets grating in all new inlets /outlets as**

per standard detail section 17000 details 02516-4, or 02516-5.

3.6 **Inspection**

- .1 No lines are to be backfilled without the review of the Engineer.
- .2 Engineer requires inspection of installed storm sewers by television camera and photograph camera.

3.7 Closed Circuit
Television
Inspection

- .1 Equipment:
 - .1 Provide equipment meeting the following requirements:
 - .1 Self-contained monitoring unit and camera with remotely controlled lighting system capable of varying the illumination.
 - .2 Picture quality shall produce continuous 600-line resolution picture, showing entire periphery of pipe.
 - .3 A meter device with readings above ground or marking on cable to clearly identify exact location of camera.
- .2 Definition of Fault:
 - .1 Any pipe joint which displays a gap or spread, offset, gasket or signs of illumination.
 - .2 Any street lateral which displays water infiltrating around service connection, or a steady flow through street lateral.
 - .3 Any street exhibiting pronounced protrusion into the main.
 - .4 Any section of pipe which is crushed, broken or displays cracks.
 - .5 Any variance in grade of main section.
 - .6 Any gravel, roots, or foreign material which may

impede flow.

.7 Any deformation in shape of pipe.

.3 Inspection:

.1 Perform inspection of pipe from catch basin to catch basin by passing TV camera through pipe in direction of flow.

.4 Records:

.1 Maintain inspection record in log form, during television inspection.

.2 Log to include location of each fault and street service lateral distance measured from centerline of reference manhole and position referenced to axis of pipe.

.3 Photograph fault from the television screen using a 35 mm camera. All photographs to be clear and precise with distinct definition of fault.

.4 Include detailed technical description with photographs as supporting data for each fault.

.5 Provide minimum of two photographs for each main section televised, detailing typical joint, and typical building service lateral.

.5 Reports:

.1 Provide a composite report of TV inspection. Enclose report in binder or letter size paper. Include the following pages and information:

.1 Title page identifying project, camera operator and dates of inspection.

.2 Index page identifying street name, section from catch basin to catch basin, page number or numbers where information for section is contained.

.2 Organize inspection records in sequence from upstream manhole or catch basin to downstream unit.

.3 Report on each main section to contain:

.1 Heading:

.1 Street name

- .2 Manhole or catch basins numbers applicable to section.
 - .3 Reference drawing number, if applicable.
 - .4 Weather on the day of inspection.
 - .5 Statement of soil condition in area of inspection, i.e., dry, damp, wet, frozen.
 - .6 Date of inspection.
- .2 Key Plan, showing corresponding manhole or catch basin numbers, magnetic north, horizontal distance, pipe and material between catch basins, and direction of flow.
- .3 Inspection findings for each main section to include:
 - .1 Location of all faults.
 - .2 Photographs of all faults.
 - .3 Location of all street service laterals.
 - .4 One photograph each of typical joint and typical when laterals faults are not found.
- .4 Mount photographs on left page and place corresponding description on right page. Number all photographs in order. Number beside photograph to correspond with description number.
- .5 Enclose all pages of report in transparent sheet protector.
- .6 Accuracy:
 - .1 Maximum permissible error in accuracy to be within the following limits of fault location:
 - .1 Up to 375 mm pipe: +/- 75 mm per 100 m of length.
 - .2 450 mm - 600 mm pipe: +/- 150 mm per 100 m of length.
 - .3 750 mm - **1500** mm pipe: +/- 225 mm per 100 m of length.
- .7 Video Tapes:

- .1 Supply a complete record of all inspections on VHS format video tape.
- .2 Index all tapes, listing sections of inspections.
- .3 Submit video tapes with written reports to Engineer.
- .8 Repeat Inspection:
 - .1 Repair faults detected during television inspection. Repeat television inspection at no cost to the Owner.

3.8 Field
Testing

- .1 Repair or replace pipe, pipe joint or bedding found defective.
- .2 Remove foreign material from storm sewers and related appurtenances by flushing with water.
- .3 Perform exfiltration testing as soon as practicable after jointing and bedding are complete, and service connections have been installed.
- .4 Do exfiltration testing as directed. Perform tests in presence of Engineer. Notify Engineer 24 hours in advance of proposed tests.
- .5 Carry out tests on each section of storm sewer between successive catch basins including service connections.
- .6 Install watertight bulkheads in suitable manner to isolate test section from rest of pipeline.
- .7 Low Pressure Air Testing
CAUTION:
FOR SAFETY OF PERSONNEL AND PUBLIC, OBSERVE PROPER PRECAUTIONS DURING AIR TESTING. USE TEST EQUIPMENT DESIGNED TO OPERATE ABOVE GROUND. DO NOT PERMIT PERSONNEL IN TRENCH DURING TESTING. DO NOT AIR TEST PIPE WITH DIAMETER GREATER THAN 600 MM UNLESS WRITTEN CONFIRMATION IS PROVIDED TO THE CONSULTANT FROM OCCUPATIONAL HEALTH AND SAFETY THAT THE METHOD PROPOSED BY THE CONTRACTOR IS CONSIDERED TO BE SAFE
 - .1 Provide air testing equipment meeting the following requirements: ASTM F1417
 - .1 Air Blower: 14 liters/sec, maximum pressure 70 kPa continuous.

- .2 Pressure Relief Valve: sized to relieve full blow capacity at maximum blower pressure. Range 20-70 kPa, adjustable.

.7 Low Pressure Air Testing

.1 continued

- .3 Pressure Gauges: Range to 0-70 kPa (0-10 psig) with accuracy +/- 0.25 kPa (+/- .036 psig).
- .4 Provide plugs at each end of section, with one plug equipped for air inlet connection. **Secure plugs** from moving prior to beginning filling of test section.
- .5 Fill test section slowly until a constant pressure of 28 kPa (4.0 psig) is reached. If groundwater is above section being tested, Engineer may recommend increase in air pressure.
- .6 Allow minimum 2 minutes for air temperature to stabilize, adding only amount of air required to maintain pressure.
- .7 After 2 minute period, shut off air supply.
- .8 Decrease pressure to 24 kPa (3.5 psig). Measure time required for pressure to reach 20.7 kPa (3.0 psig). Minimum time allowed for pressure drop is as follows:

Pipe Diameter (mm)	Minimum Time (Min:Sec)
100	1:53
150	2:50
200	3:47
250	4:43
300	5:40
375	7:05
450	8:30
525	9:55
600	11:20

- .2 Pressure testing equipment must have pressure release equipment set to maximum of 62 KPa (9 psig) for protection of contractor personnel.
- .3 All pressure test plugs restraints must be restrained to meet the axial loading of the max test pressure 62 KPa

(9 psig) axial loading, Force of the air pressure per square area of the diameter of pipe being tested pushing against the test plugs.

- .4 Locate and repair defects if test fails. Retest until leakage meets allowable loss in Table above.
 - .5 Repair visible leaks regardless of test results.
- .8 Exfiltration test: ASTM F2487
- .1 Fill storm line with water.
 - .2 At the upstream catch basin the test head should be established a minimum of 600 mm above the crown of the pipe.
 - .3 Allow the pipe to remain saturated for a period long enough to allow water absorption in the pipe, a minimum of 4 hours and up to a maximum of 72 hours. After the absorption period, refill the pipe to the required test head.
 - .4 Fill test section with water in such a manner as to allow displacement of air in line. Maintain under nominal head for 24 hours to ensure absorption in pipe wall is complete before test measurements are commenced.
 - .5 Immediately prior to test period, add water to pipeline until there is a head of 3.0 m over interior crown of pipe measured at highest point of test section or water in manhole is 3.0 m above static ground water level, whichever is greater.
 - .6 Duration of exfiltration test shall be two hours.
 - .7 Water loss at end of test period shall not exceed maximum allowable exfiltration over any section of pipe between manholes.
- .9 Leakage shall not exceed the following limits in liters per hour per 25 mm of diameter per **100 m** of pipe. Exfiltration, based on 3.0 m of head, 0.50 liters per hour per 25 mm diameter.
- .10 Repair and retest storm line as required, until test results are within limits specified.
 - .11 Repair visible leaks regardless of test results.

PART 4.0

4.1 Payment

- .1 Storm drainage system including excavating and backfilling will be measured horizontally in meters for each size of pipe supplied and installed. The unit bid price per meter shall include full compensation for all equipment, materials and labour required to complete the work as specified above. Measurement of main line pipe installed will be from end of pipe to end of pipe between successive catch basins sections. (not centerline of catch basin or manholes.)
- .2 There shall be no separate payment for shoring and reinstatement required to carry out the work. This requirement shall be considered incidental to the storm main installation.
- .3 There shall be no separate payment for closed circuit television inspection. This requirement shall be considered incidental to the storm main installation.
- .4 There shall be no separate payment for supply and placing of galvanized steel grates required at all inlet and outlet pipes. Include all costs in the per unit meter bid price for each pipe diameter.
- .5 **There shall be no separate payment for the temporary moving of residential water services of any diameter. This requirement shall be considered incidental to the storm main installation.**
- .6 There shall be no separate payment for the supply and placing of insulation required for pipe insulation for the water main, where the new storm system's installed in close proximity. This requirement shall be considered incidental to the storm main installation.
- .7 There shall be no separate payment for the supply and install of pipe inlet or outlet grating. This shall be included in the per meter price of the storm main installation.
- .8 There shall be no separate payment for all required testing / or retesting according to the specification. This requirement shall be considered incidental to the storm main installation.

From: [Jamie Rodgerson](#)

Sent: August 21, 2025 10:18:44 AM

To: [Gary McInnis](#)

Cc: [Tony Gallant](#); [Linda Stevenson](#); [JP Desrosiers](#); [Megan Williams](#); [Aaron MacDonald](#); [Garrett Webster](#); [Mike Straw](#)

Subject: Re: Pope Rd development

Sensitivity: Normal

Thank you everyone,

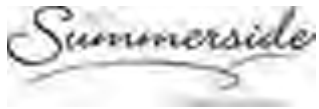
I will have the proper stuff in order.

On Thu, Aug 21, 2025, 10:15 AM Gary McInnis <gary@summerside.ca> wrote:

Jamie, A drainage lay out will be required for the development on the site plan. And Building foundation finish floor elevations for the units based on the Centerline of Pope Road center line in the center of the lot .

The Mill crescent exit will require a culvert the diameter needed will be 600 mm type to City Specifications (can be installed by the development contractor)

Acceptable materials are in the specifications attached.

The logo for the City of Summerside, featuring the word "Summerside" in a stylized, cursive script font.

Gary McInnis

Assistant Municipal Engineer

City of Summerside

Technical services Department

3rd floor , City Hall

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[Summerside, PEI](#)

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From: Tony Gallant <Tony@summerside.ca>

Sent: Thursday, August 21, 2025 9:18 AM

To: Linda Stevenson <linda@summerside.ca>; Jamie Rodgerson <rodgersonconstruction@gmail.com>

Cc: JP Desrosiers <jp@summerside.ca>; Megan Williams <megan.williams@summerside.ca>; Aaron MacDonald <aaron@summerside.ca>; Gary McInnis <gary@summerside.ca>; Garrett Webster <garrett.webster@summerside.ca>; Mike Straw <mike.straw@summerside.ca>

Subject: RE: Pope Rd development

Hi Jamie

As Linda had mentioned you will need engineering drawings for the water and sewer mains/services and a legal surveying outlining the easements for both the water and sewer that will be granted to the city to look after/maintain these lines.

Thanks

Tony

Tony Gallant, P.Eng.,

Municipal Engineer

City of Summerside

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[Summerside, PE C1N 1H9](#)

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Mobile: 902-888-7888

E-mail: Tony.Gallant@city.summerside.pe.ca

Website: www.summerside.ca

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From: Linda Stevenson <linda.stevenson@city.summerside.pe.ca>

Sent: Wednesday, August 20, 2025 4:11 PM

To: Jamie Rodgerson <rodgersonconstruction@gmail.com>

Cc: JP Desrosiers <jp@summerside.ca>; Megan Williams <megan.williams@summerside.ca>; Aaron MacDonald <aaron@summerside.ca>; Tony Gallant <Tony@summerside.ca>; Gary McInnis <gary@summerside.ca>; Garrett Webster <garrett.webster@summerside.ca>; Mike Straw <mike.straw@summerside.ca>

Subject: RE: Pope Rd development

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Thanks!

Archived: November 3, 2025 1:39:56 PM

From: [Mike Straw](#)

Sent: August 21, 2025 11:46:30 AM

To: [Jamie Rodgers](#)

Cc: [JP Desrosiers](#) [Megan Williams](#) [Aaron MacDonald](#) [Tony Gallant](#) [Gary McInnis](#) [Garrett Webster](#) [Linda Stevenson](#)

Subject: RE: Pope Rd development

Importance: Normal

Sensitivity: None

Attachments:

[185 Pope Road Preliminary Plans.pdf](#) 

Hi Jamie,

Regarding the building plans, the only plans I'm aware of are the plans Linda noted (attached). The plans are incomplete and require additional information:

- Foundation Plan
- Cross-Section noting framing and insulation information

The preliminary site plan notes the units are spaced at 2.4m, at that spacing there are restrictions for the construction of the soffits per NBC 2020 9.10.15.5.(11):

11) Where roof soffits project to less than 1.2 m from the property line, the centre line of a *public way*, or an imaginary line between two *buildings* or *fire compartments* on the same property, they shall

- a) have no openings, and
- b) be protected by
 - i) not less than 0.38 mm thick sheet steel,
 - ii) unvented aluminum conforming to CAN/CGSB-93.2-M, "Prefinished Aluminum Siding, Soffits, and Fascia, for Residential Use,"
 - iii) not less than 12.7 mm thick gypsum soffit board or gypsum ceiling board installed according to CSA A82.31-M, "Gypsum Board Application,"
 - iv) not less than 11 mm thick plywood,
 - v) not less than 12.5 mm thick OSB or waferboard, or
 - vi) not less than 11 mm thick lumber.

(See Note A-3.2.3.6.(2).)

The plans will need to detail how the soffits will be constructed to meet the restrictions and how the roof will be ventilated without use of the soffits.

The alternative is to increase the building spacing from 2.4m to include the soffit projections (example 2.4m +16"soffit+ 16"soffit = **3.2m** from building face to face)

The building permit application should be submitted with the information (project cost) for one unit, each unit will require a separate permit and will be referenced to the unit numbers provided on the site plan.

Regards,

Mike Straw

Building Officer

City of Summerside

Technical Services Department

275 Fitzroy St

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Thanks!

Jamie



Revision:

Jamie
Rodgersen &
Sons

Project:
Tiny Homes
Development

Sheet Title:

Cover Sheet

Client Rep:

Jamie R.

Scale:

As noted

Issue Date:

March 18 2024

Drawn By:

K.G.

Drawing:

S100

Documents:

- S100 - Cover sheet
- S101 - Site Plan
- S102 - Site Plan Renderings
- S103 - Floor Plan - 1 Story - 2 Bedroom - 16'x32'
- S104 - Side Elevations

RECEIVED

APR 08 2024

Preliminary
Not for Construction
Print on 11"x17"

RECEIVED

APR 08 2024

Revision:

Jamie
Rodgers &
Sons

Project:
Tiny Homes
Development

Sheet Title:

V1 - 1 story
- 2 Bedroom
- 16x32

Client Rep:

Jamie R.

Scale:

As noted

Issue Date:

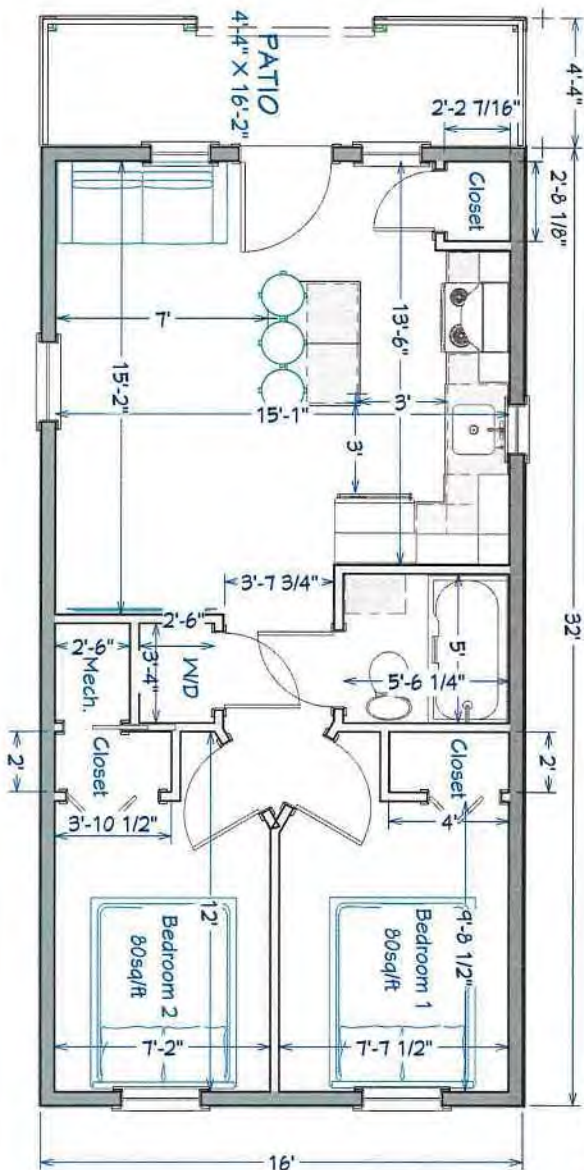
March 18 2024

Drawn By:

K.G.

Drawing:

S103



Front Elevation

Back Elevation

Preliminary
Not for Construction
Print on 11"x17"
Scale: 1/4" = 1' - 0"

RECEIVED
APR 08 2024

Project
Ting Homes
Development

Revision:

Jamie
Rodgersen &
Sons

Sheet Title:
Side
Elevations

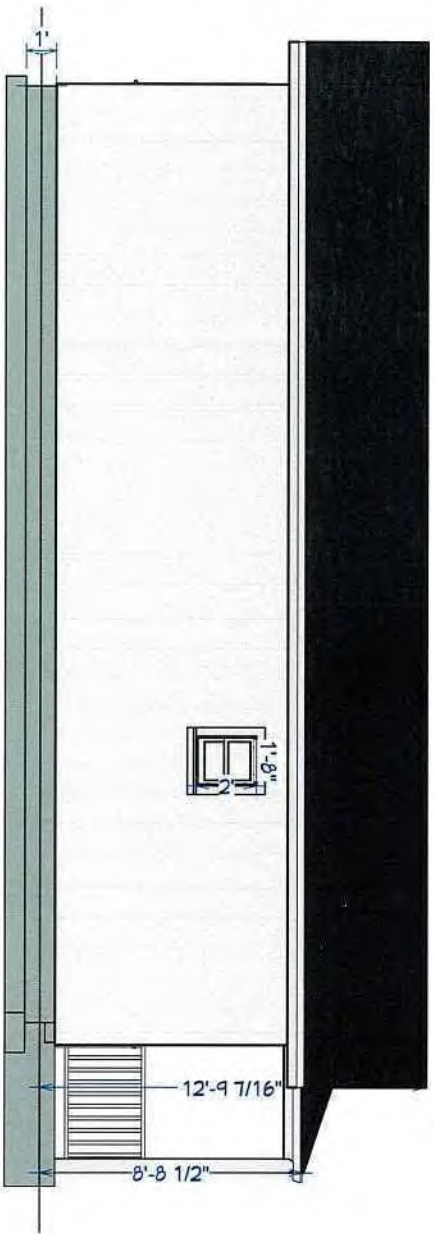
Client Rep:
Jamie R.

Scale:
As noted

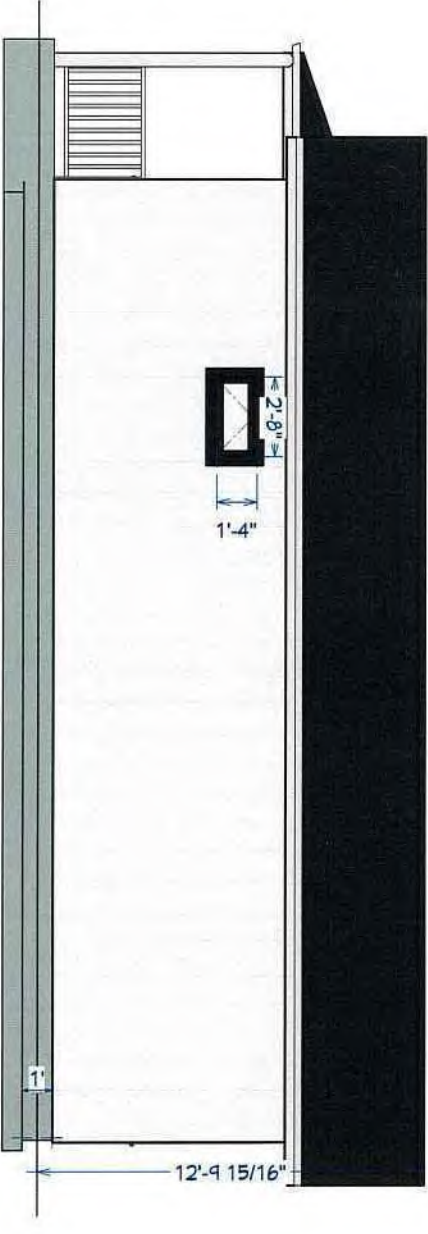
Issue Date:
March 18 2024

Drawn By:
K.G.

Drawing:
S104



Left Elevation



Right Elevation

Preliminary
Not for Construction
Print on 11"x17"
Scale: 1/4" = 1' - 0"

From: [Garrett Webster](#)

Sent: August 28, 2025 9:40:00 AM

To: [Jamie Rodgerson](#); [Gary McInnis](#)

Cc: [Tony Gallant](#); [Linda Stevenson](#); [JP Desrosiers](#); [Megan Williams](#); [Aaron MacDonald](#); [Mike Straw](#)

Subject: RE: Pope Rd development

Sensitivity: Normal

Attachments:

[High Voltage Overhead Powerline Clearances.pdf](#); [Summerside Electric Details.pdf](#); [19023-Doreyview at Waters Edge Summerside-Issued for Review.pdf](#);

Morning Jamie,

I'm back from holidays and catching up on emails. Regarding my comment on space of powerlines and overhead vs underground, highlighted in the email thread below. For your engineers design review Jamie, attached are typical powerline clearances from utility poles/wires to structural clearances needed for CEC/CSA. With as little as 4'-9" from curb to building, I flagged the plans (as they are presently) being unlikely able to support overhead power. If needing underground powerlines, this is considered "optional services" and the added costs of the UG is to the developer, and there is more design/construction responsibility to the developer. Some documents are attached regarding this. A good example subdivision to look at would be Dory View Street for similar home size/density, and UG power layout.

For UG power, developer responsibility would be:

- Design of transformer, and URD locations (requires Summerside Electric input for sizes and quantity of equipment to service # of homes, developer to design locations for this equipment not in clash with pipes or other infrastructure)
- Design of conduit system to interconnect all transformers/URDs to source power.
- Design of easements around all of the above equipment (transformers, URDs, and any conduits routing power to more than 1ea premise).
- Construction of all civil works, including conduits, transformer/URD foundations
- Construction/Installation of all URD boxes and LV cables
- Cost differential of overhead pole top transformers (approx. \$4-5k/ea) vs pad mount transformers (approx. \$15-25k/ea)

Summerside Electric will design/install the high voltage cable system, as well as setting/connecting of transformers.

See details DWG-U6 in attached for UG subdivision examples.

For cost shares and credits from Summerside Electric to the developer, at a simplified level we'll do a cost estimate of a theoretical overhead power development of similar size and # of services and credit that cost of construction against the higher UG cost. For example, if we could service the development for \$25k if space was available, but the UG option will cost \$60k, the $60k - 25k = \$35k$ cost delta is cost to developer for the UG option.

It is best we have a meeting between developer, developers engineer, and Summerside Electric, to discuss all of this and theoretical options for the teams to take away and work on productively. If the development is intending proceeding to next steps and would like to have this meeting let me know and I can set something up.

Also, while not power related but very similar to above, developer would need to coordinate with the telecom companies for a UG telecom system as well (contact Bell or Eastlink or other providers). Summerside Electric isn't responsible for telecoms, though they tend to follow parallel to our systems and need similar designs/constructions from the developer.

Garrett Webster



Senior Utility Engineer, P.Eng

94 Ottawa St.

Summerside, PE C1N 1W3

Mobile: 902-786-6861

E-mail: garrett.webster@summerside.ca

From: Jamie Rodgerson <rodgersonconstruction@gmail.com>

Sent: August 21, 2025 10:18 AM

To: Gary McInnis <gary@summerside.ca>

Cc: Tony Gallant <Tony@summerside.ca>; Linda Stevenson <linda@summerside.ca>; JP Desrosiers <jp@summerside.ca>; Megan Williams <megan.williams@summerside.ca>; Aaron MacDonald <aaron@summerside.ca>; Garrett Webster <garrett.webster@summerside.ca>; Mike Straw <mike.straw@summerside.ca>

Subject: Re: Pope Rd development

Thank you everyone,

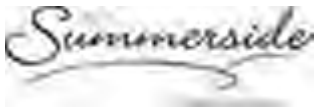
I will have the proper stuff in order.

On Thu, Aug 21, 2025, 10:15 AM Gary McInnis <gary@summerside.ca> wrote:

Jamie, A drainage lay out will be required for the development on the site plan. And Building foundation finish floor elevations for the units based on the Centerline of Pope Road center line in the center of the lot .

The Mill crescent exit will require a culvert the diameter needed will be 600 mm type to City Specifications (can be installed by the development contractor)

Acceptable materials are in the specifications attached.



Gary McInnis

Assistant Municipal Engineer

City of Summerside

Technical services Department

3rd floor , City Hall

[275 Fitzroy street](#)

[Summerside, PEI](#)

[C1N 1H9](#)

phone 902 439 4322

Fax 902 436 3191

e-mail gary@summerside.ca

Statement of Confidentiality

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Subject: RE: Pope Rd development

Hi Jamie

As Linda had mentioned you will need engineering drawings for the water and sewer mains/services and a legal surveying outlining the easements for both the water and sewer that will be granted to the city to look after/maintain these lines.

Thanks

Tony

Tony Gallant, P.Eng.,
Municipal Engineer

City of Summerside
[275 Fitzroy Street](#)
[Summerside, PE C1N 1H9](#)

Facsimile: 902-436-3191

Mobile: 902-888-7888

E-mail: Tony.Gallant@city.summerside.pe.ca

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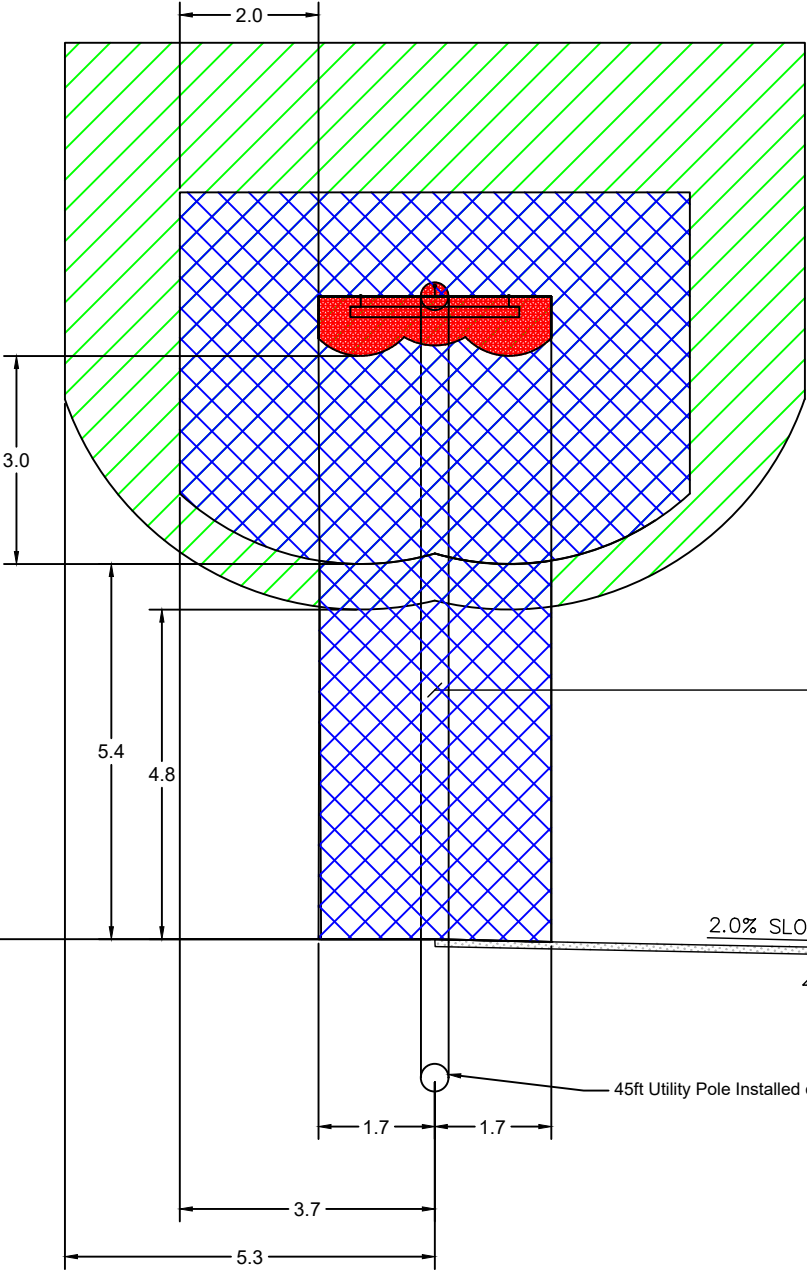
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$\frac{4}{0}$ ACSR 15kV Clearance



CSA 22.3 No1-1 Table 1 and Table 9
 $\frac{4}{0}$ ACSR swing = 475mm
25% Swing Safety Factor = 119mm
Cable to Building Separation Horizontal = 2,000mm
Cable to Building Separation Vertical = 3,000mm

NS Cable Sag Tables
NESC Heavy Sag at 50m = 670mm
25% Sag Safety Factor = 168mm

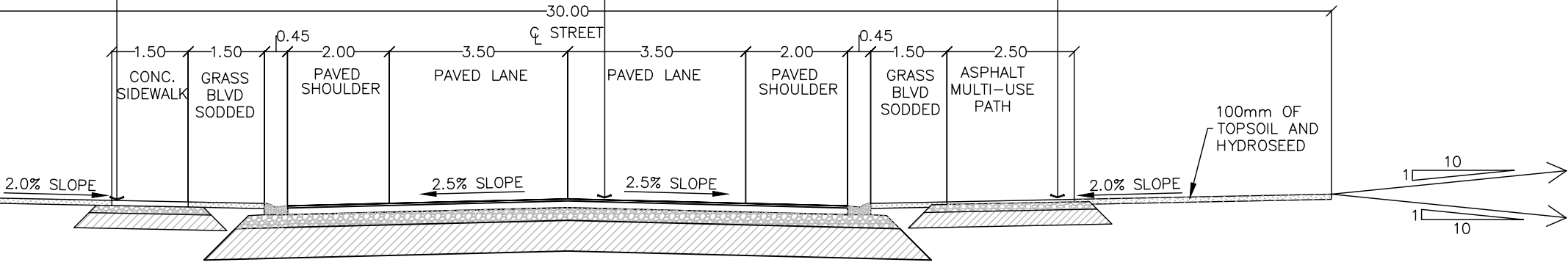
PEI OH&S Cable to Person Separation = 3,658mm (12ft)

-  Cable potential location with CSA heavy conditions sag/swing
-  CSA C 22.3 and CEC 12-312 Clearance to structures
-  PEI OH&S Act Regulations 36.20 Clearance to Persons

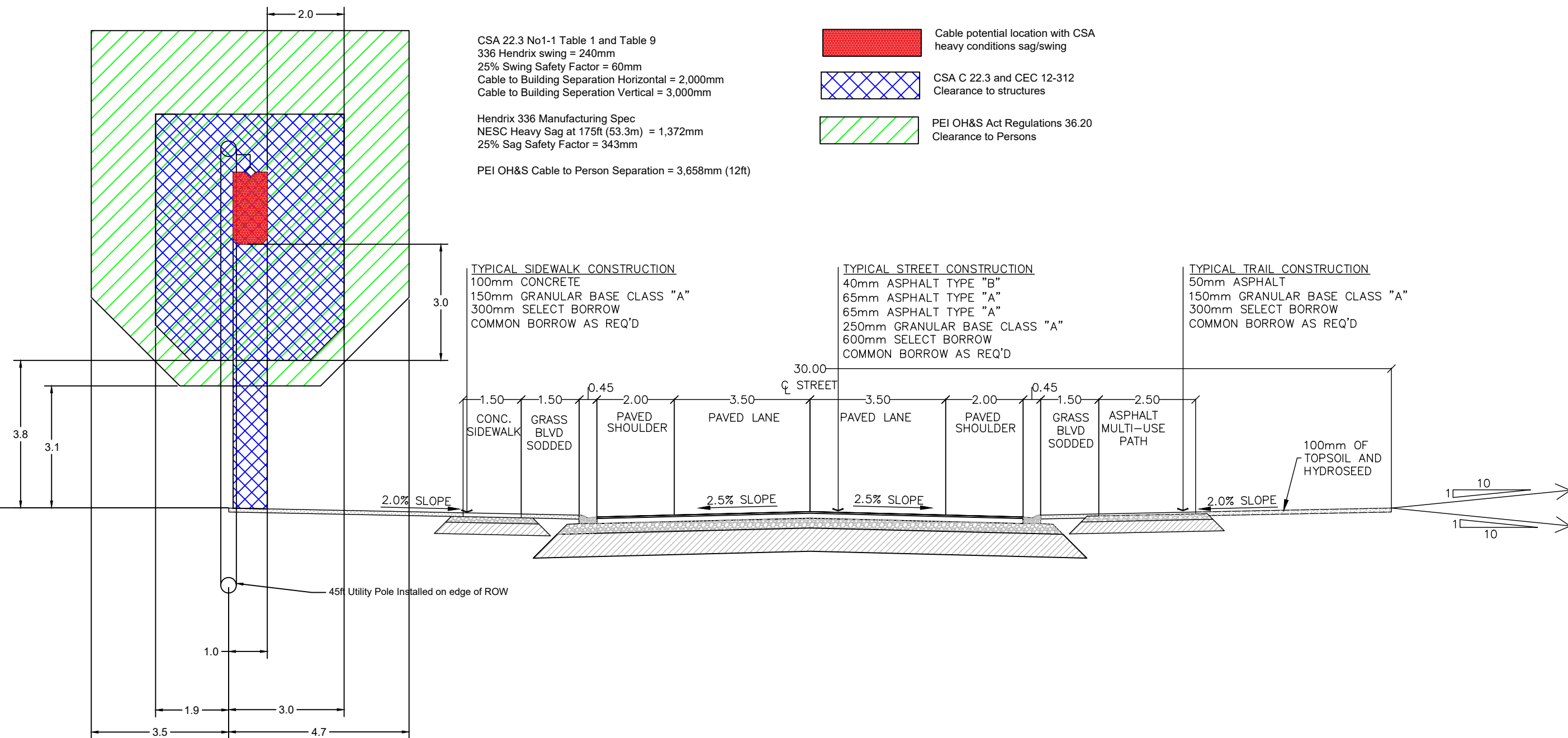
TYPICAL SIDEWALK CONSTRUCTION
100mm CONCRETE
150mm GRANULAR BASE CLASS "A"
300mm SELECT BORROW
COMMON BORROW AS REQ'D

TYPICAL STREET CONSTRUCTION
40mm ASPHALT TYPE "B"
65mm ASPHALT TYPE "A"
65mm ASPHALT TYPE "A"
250mm GRANULAR BASE CLASS "A"
600mm SELECT BORROW
COMMON BORROW AS REQ'D

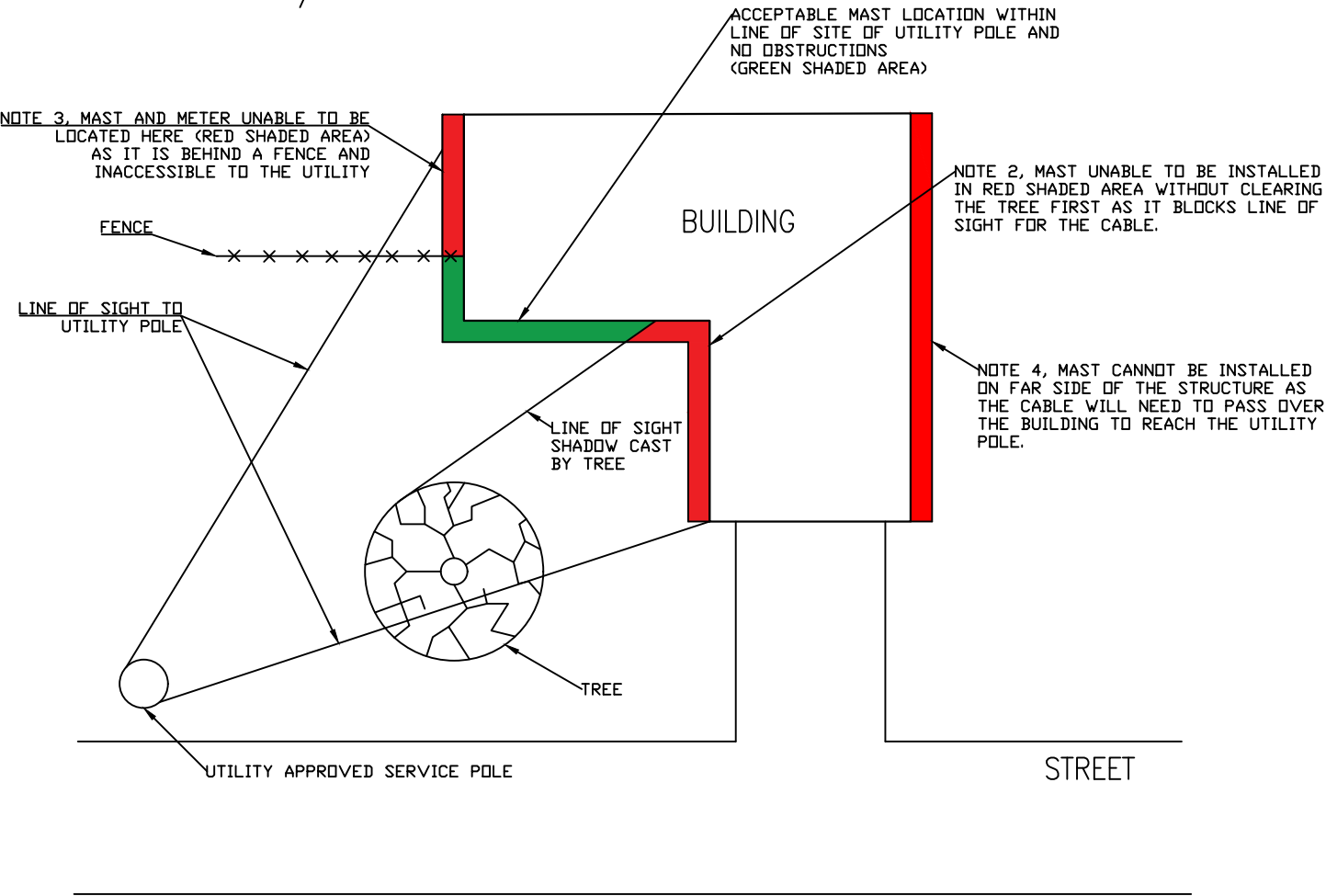
TYPICAL TRAIL CONSTRUCTION
50mm ASPHALT
150mm GRANULAR BASE CLASS "A"
300mm SELECT BORROW
COMMON BORROW AS REQ'D



Hendrix 15kV Clearance



SAMPLE METER/MAST LOCATION

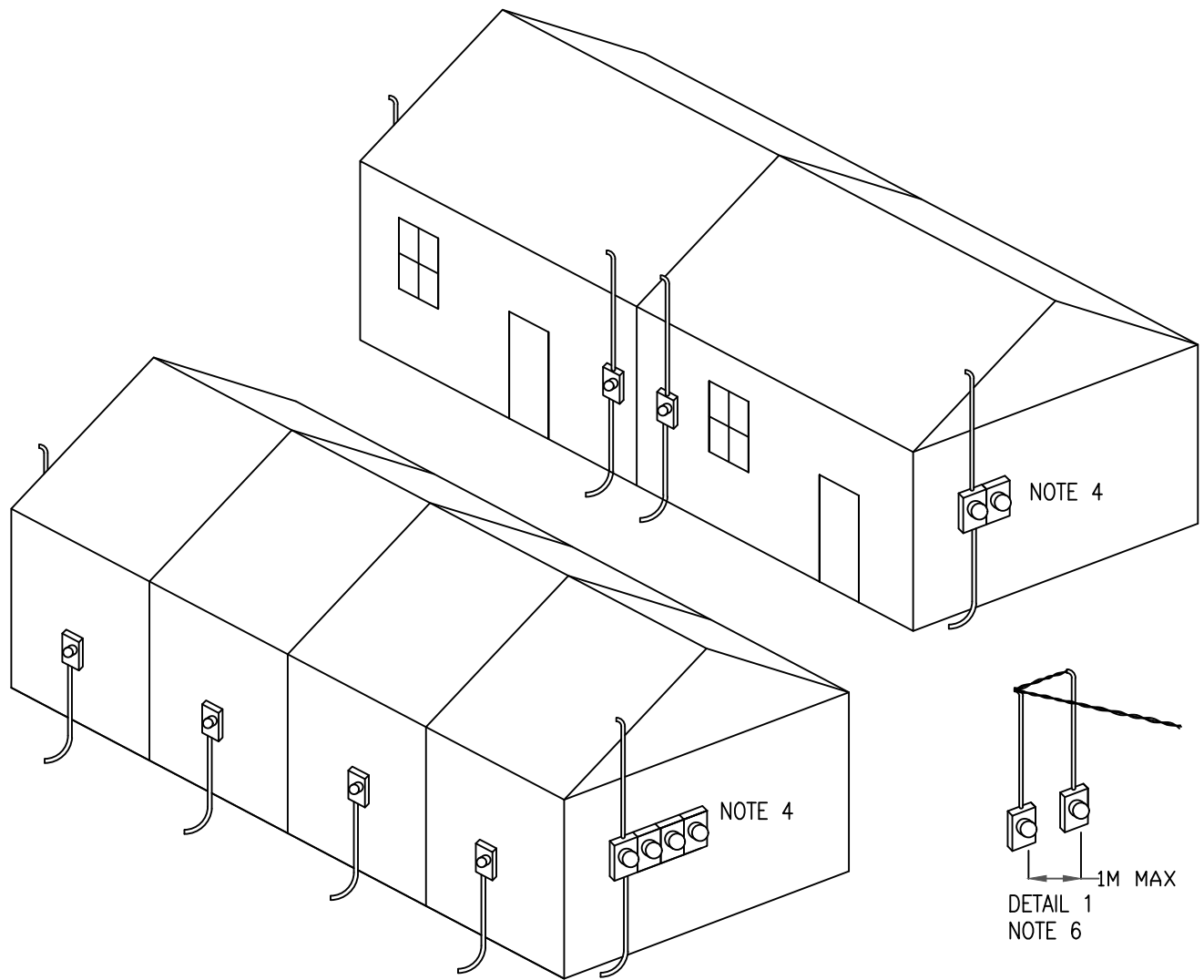


NOTES:

1. THE MAST FOR AN OVERHEAD SERVICE NEEDS TO BE LOCATED WITHIN LINE OF SITE TO THE UTILITY SERVICE POLE IT IS BEING CONNECTED TO.
2. THE CUSTOMER IS RESPONSIBLE TO PROVIDE A CLEAR LINE OF SIGHT PATH FOR THE UTILITY SERVICE CABLE FROM THE UTILITY POLE TO THE MAST POINT OF CONNECTION. SUMMERSIDE ELECTRIC WILL PERFORM TREE TRIMMING AS NEEDED WITHIN THE RIGHT OF WAY. CUSTOMER IS RESPONSIBLE FOR ANY TREE TRIMMING WITHIN THE PRIVATE LAND. SUMMERSIDE ELECTRIC CAN PERFORM PRIVATE TREE TRIMMING AT CUSTOMER EXPENSE IF DESIRED, CONTACT SUMMERSIDE ELECTRIC TO INSPECT THE TREE TO BE TRIMMED FOR APPROVAL PRIOR TO CONSTRUCTION.
3. THE METER CANNOT BE INSTALLED BEHIND A FENCE, AND MUST BE IN A LOCATION ACCESSIBLE TO THE UTILITY. THE METER SHALL NOT BE OBSTRUCTED BY ANY OTHER FEATURES OF THE HOMES CONSTRUCTION (BUSHES, SHEDS, GARDENS, HEAT PUMP COMPRESSORS, ETC...
4. THE OVERHEAD UTILITY SERVICE CABLE CANNOT CROSS OVER MORE THAN 2M OF OCCUPIED STRUCTURE TO THE MAST.
5. THE METER IS CLASSIFIED AS AN ARC PRODUCING DEVICE AND NEEDS SEPARATION FROM ANY COMBUSTIBLE GAS EQUIPMENT PER CEC 2-326.
6. THE MAST SERVICE HEAD LOCATION SHALL BE IN COMPLIANCE WITH CEC 6-112 AND 6-116.

Job Title: STANDARD CONSTRUCTION PRACTICES

City of Summerside Electric Utility 94 Ottawa Street Summerside, PE	Title: SERVICE MAST/METER LOCATION		Drawn: G.R.W	Checked: --
	Scale: N.T.S.	Date: 12-28-2023	DWG-M1	Sketch No. REV 0



NOTES:

1. SIDE BY SIDE DUPLEX:
 - 1.1. CAN BE SERVICED FROM INDIVIDUAL SERVICES ON FRONT/SIDES VIA OVERHEAD OR UNDERGROUND SERVICE IF MEETS CEC 6-102-C).
 - 1.2. CAN BE SERVICED FROM BANK OF METERS ON FRONT OR ON ONE SIDE VIA OVERHEAD OR UNDERGROUND SERVICE.
2. STACKED DUPLEX, BASEMENT APARTMENT IN SFD, OR OTHER NON SELF CONTAINED OCCUPANCY:
 - 2.1. ONLY ONE (1) UTILITY SERVICE CONNECTION ALLOWED PER CEC 6-102-1)-C). MUST INSTALL BANK OF METERS OR SECOND MAST NEXT TO EXISTING, SEE DETAIL 1 AND NOTES 6/7.
3. 3+ MULTI-UNIT HOUSING:
 - 3.1. CAN BE SERVICED FROM INDIVIDUAL SERVICES ON FRONT/SIDES ONLY VIA UNDERGROUND SERVICE AND ONLY IF MEETS CEC 6-102-C).
 - 3.2. CAN BE SERVICED FROM BANK OF METERS ON FRONT OR ONE SIDE VIA OVERHEAD OR UNDERGROUND SERVICE.
4. WHEN INSTALLING MULTI-METER BANKS ON PROPERTIES INTENDED FOR INDIVIDUAL OWNERSHIP, CONSULT LEGAL COUNCIL IF PARTY WALL AGREEMENT OR OTHER COMMON INFRASTRUCTURE TERMS ARE REQUIRED BETWEEN UNITS.
5. IF COMBINED SERVICE GRID CONNECTION IS OVER 600A, A PADMOUNT TRANSFORMER MAY BE REQUIRED. CONTACT SUMMERSIDE ELECTRIC PRIOR TO CONSTRUCTION.
6. SECOND MASTS AND SEPARATE METER SOCKETS ON THE SAME STRUCTURE OF THE SAME VOLTAGE ARE ONLY ALLOWED WHEN GROUPED TOGETHER PER DETAIL 1. COMBINED SERVICE LOAD MUST BE LESS THAN 600A.
7. ALL NEW SERVICE CONNECTIONS TO THE UTILITY GRID ARE TO BE APPROVED BY SUMMERSIDE ELECTRIC PRIOR TO CONSTRUCTION. PENDING CAPACITY OF UTILITY GRID IN THE AREA, SOME OPTIONS MAY BE RESTRICTED.
8. MAX OF 4-GANG MULTI-METER SOCKET. 5+ METERS REQUIRE INSTALLATION OF A METER STACK.

Job Title: STANDARD CONSTRUCTION PRACTICES

City of Summerside Electric Utility 94 Ottawa Street Summerside, PE	Title: MULTI RESIDENTIAL SERVICE METERING		Drawn: G.R.W	Checked: --
	Scale: N.T.S.	Date: 12-28-2023	DWG-M2	Sketch No. REV 0

APPROVED METER SOCKETS

SERVICE ENTERANCE		METER SOCKET	
VOLTAGE(V)	AMPERAGE (A)	MANUFACTURER	MODEL #
120/240	≤200	4-JAW	
120/240	201-400	HYDEL EATON	CT4-TSB-NB TCC5-TH
120/240	401+	HYDEL	CTS405PW-TS
120/208	≤200	SINGLE SERVICE = 7-JAW APARTMENTS* = 5-JAW	
120/208	201-2000	HYDEL T&B	CTS130PW-TS CT113SWL
347/600	≤200	7-JAW	
347/600	201-2000	HYDEL T&B	CTS130PW-TS CT113SWL

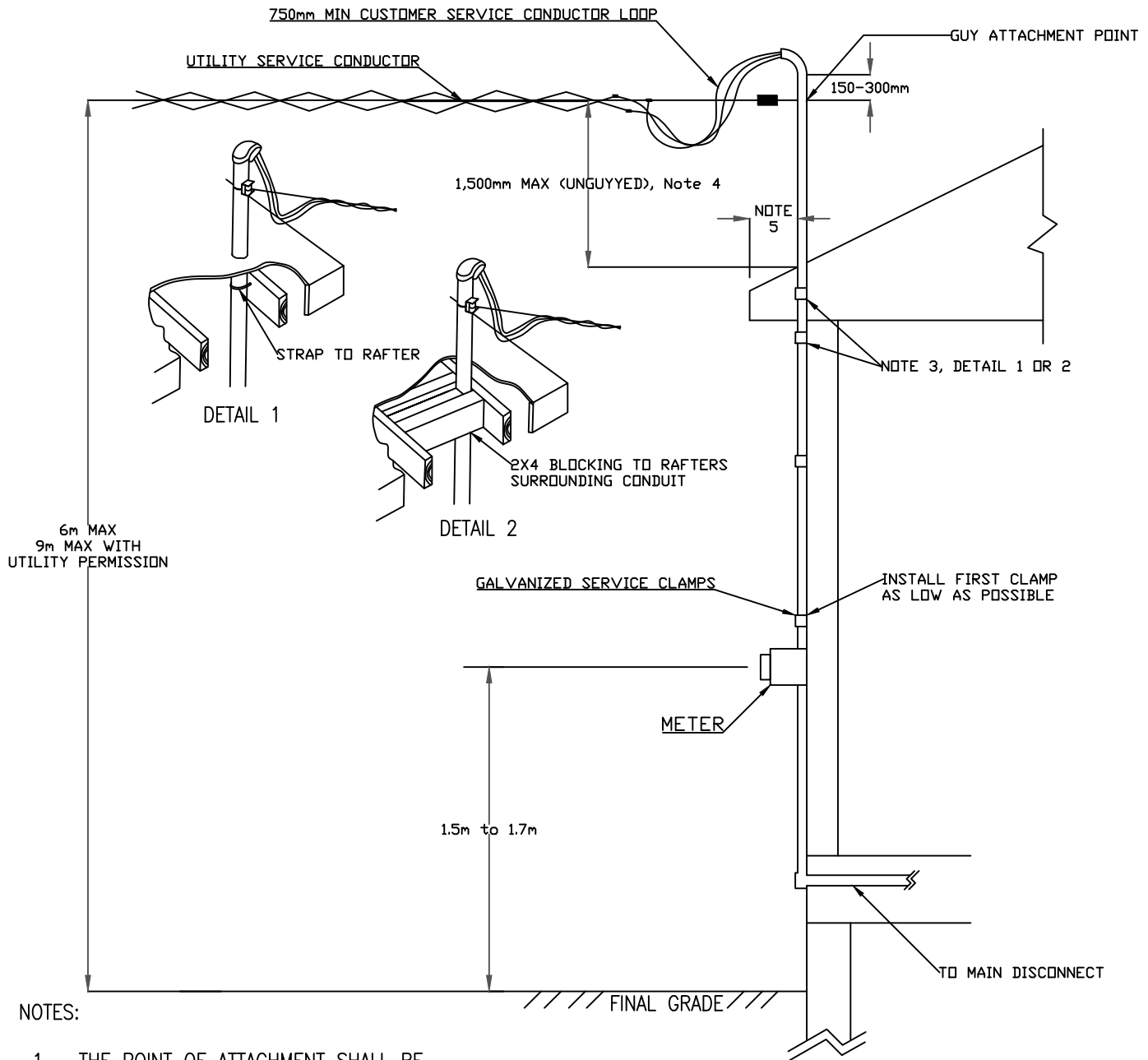
* SINGLE PHASE APARTMENT METER STACKS FROM THREE PHASE SERVICE.

NOTES:

- FOR USE OF A METER SOCKET OUTSIDE THOSE LISTED ABOVE, CONTACT SUMMERSIDE ELECTRIC FOR WRITTEN APPROVAL PRIOR TO CONSTRUCTION.
- FOR SINGLE PHASE GREATER THAN 600A OR THREE PHASE GREATER THAN 2,000A CONTACT SUMMERSIDE ELECTRIC TO DISCUSS PRIOR TO CONSTRUCTION.
- ALL SERVICE INSTALLATIONS GREATER THAN 200A REQUIRE A DISCONNECT SWITCH INSTALLED.
- ALL THREE PHASE SERVICE INSTALLATIONS REQUIRE A DISCONNECT SWITCH INSTALLED.
- METER SOCKETS ARE OWNED AND MAINTAINED BY THE CUSTOMER. METERS ARE OWNED AND MAINTAINED BY SUMMERSIDE ELECTRIC.

Job Title: STANDARD CONSTRUCTION PRACTICES

City of Summerside Electric Utility 94 Ottawa Street Summerside, PE	Title: MULTI RESIDENTIAL SERVICE METERING		Drawn: G.R.W	Checked: --
	Scale: N.T.S.	Date: 12-28-2023	DWG-M3	Sketch No. REV 0

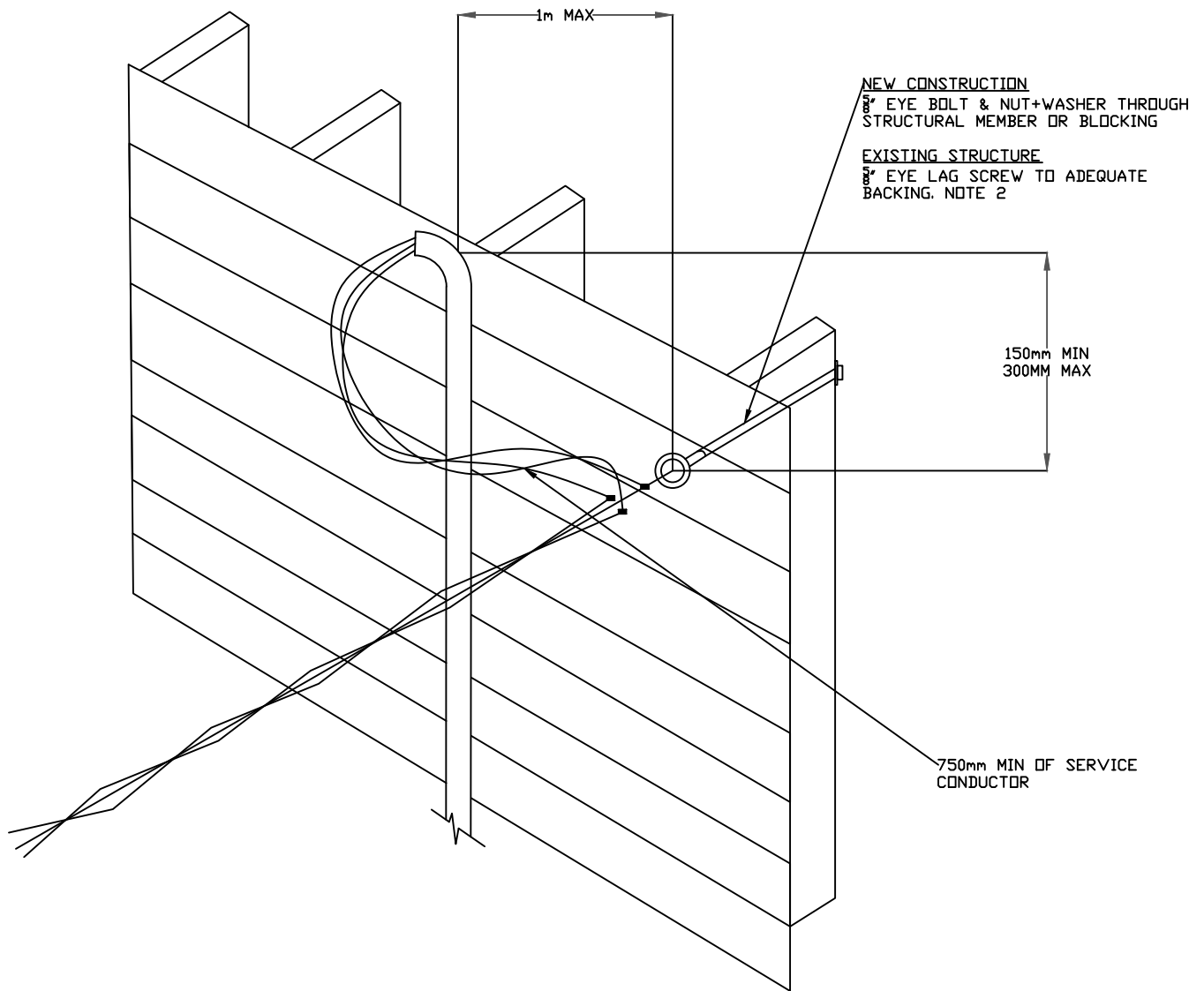


NOTES:

1. THE POINT OF ATTACHMENT SHALL BE
 - 1.1. ON THE SAME SIDE OF THE BUILDING AS THE SERVICE MAST
 - 1.2. IN A POSITION THAT ALLOWS THE OVERHEAD SERVICE CONDUCTORS TO ANGLE AWAY FROM THE STRUCTURE
2. SERVICE MAST SHALL BE OF METAL RGS CONDUIT AND SIZED PER CEC.
3. MAST SHALL BE CAPABLE OF WITHSTANDING 600LB (2670NM) OF TENSION. INSTALL STRAP TO RAFTER OR NAIL BLOCKING SURROUNDING THE MAST IN THE ROOF TRUSSES (DETAIL 1 OR 2). IF UNABLE TO ACCESS RAFTERS INSTALL FINAL STRAP AS HIGH AS POSSIBLE.
4. IF MAST IS 1.5M OR MORE ABOVE ROOF, MAST GUY IS REQUIRED. GUY TO BE SECURED TO RAFTER OR BLOCKING IN THE ROOF SYSTEM.
5. MAST TO BE 2.0M MAX FROM EDGE OF ROOF, IF EXCEEDING 2.0M CONSULT CEC 2-030 AND 12-312 WITH PEI INSPECTION AUTHORITY FOR WRITTEN APPROVAL.
4. CUSTOMER TO PROVIDE CLEAR AERIAL PATH FROM MAST CONNECTION TO FIRST UTILITY POLE FOR UTILITY SERVICE CONDUCTOR (CLEAR TREES AS REQUIRED).

Job Title: STANDARD CONSTRUCTION PRACTICES

City of Summerside Electric Utility 94 Ottawa Street Summerside, PE	Title: OVERHEAD MAST ABOVE ROOF LINE		Drawn: G.R.W	Checked: --
	Scale: N.T.S.	Date: 12-27-2023	DWG-S1	Sketch No. REV 0

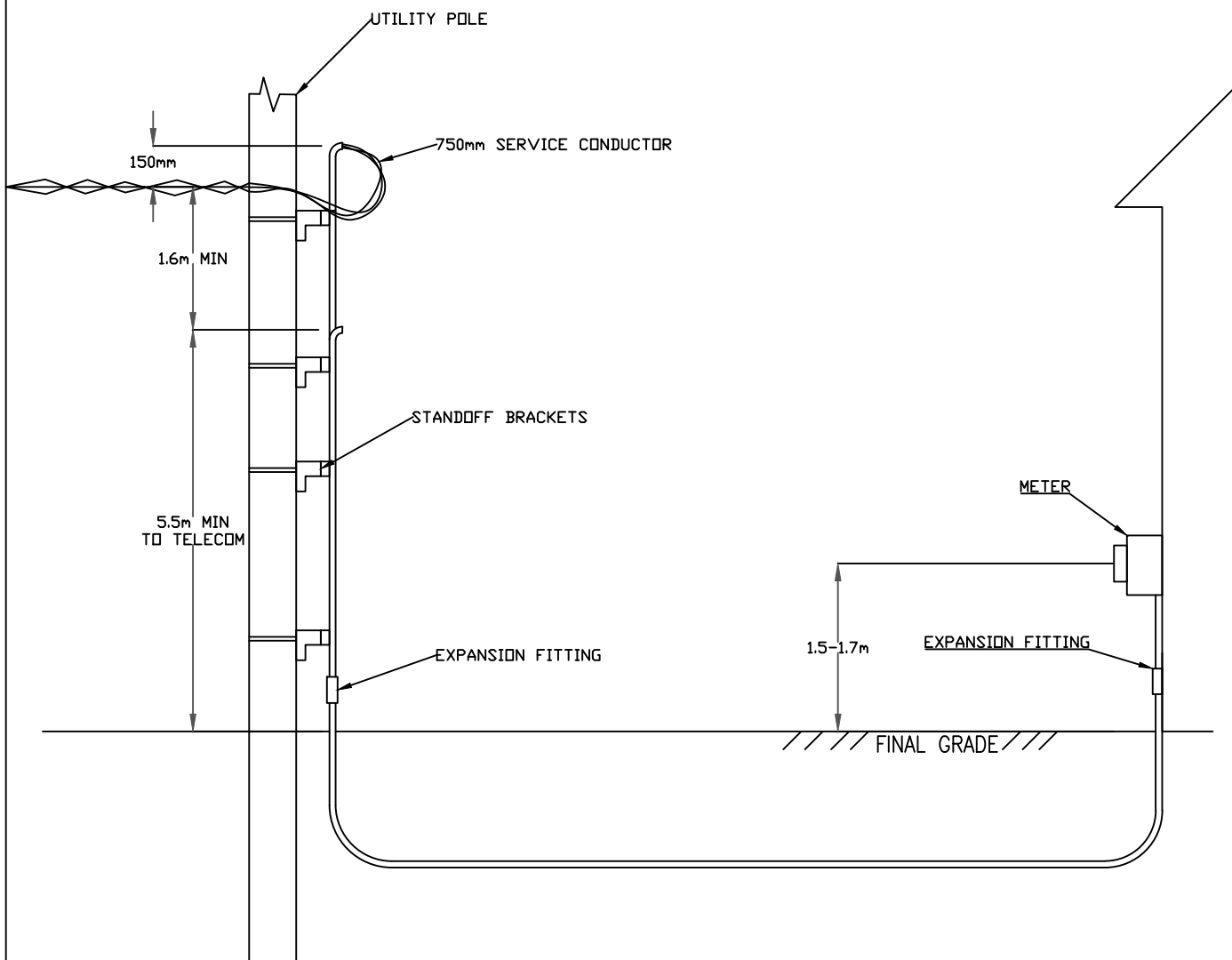


NOTES:

1. THE POINT OF ATTACHMENT SHALL BE
 - 1.1. ON THE SAME SIDE OF THE BUILDING AS THE SERVICE MAST
 - 1.2. IN A POSITION THAT ALLOWS THE OVERHEAD SERVICE CONDUCTORS TO ANGLE AWAY FROM THE STRUCTURE
2. CUSTOMER TO INSTALL $\frac{5}{8}$ " EYE BOLT/LAG SCREW INTO STRUCTURAL MEMBER CAPABLE OF HOLDING 600LBS (2670NM) OF TENSION.
3. EYE BOLT/SCREW TO BE MAX 6M ABOVE FINISHED GRADE.
4. CUSTOMER TO PROVIDE CLEAR PATH FROM EYE BOLT/SCREW TO FIRST UTILITY POLE FOR UTILITY SERVICE CONDUCTOR (CLEAR TREES AS REQUIRED).

Job Title: STANDARD CONSTRUCTION PRACTICES

City of Summerside Electric Utility 94 Ottawa Street Summerside, PE	Title: OVERHEAD MAST BELOW ROOF LINE		Drawn: G.R.W	Checked: --
	Scale: N.T.S.	Date: 12-27-2023	DWG-S2	Sketch No. REV 0

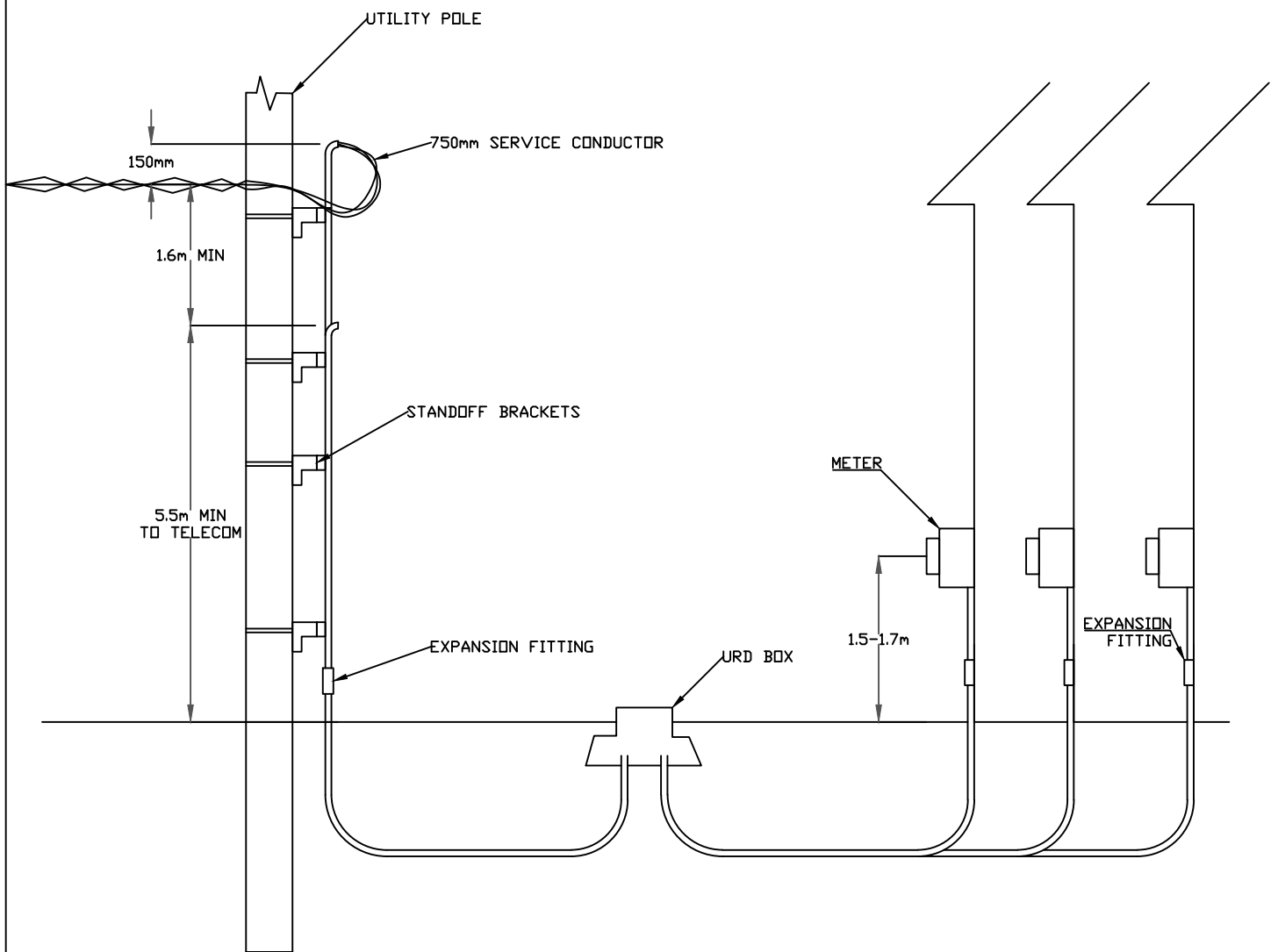


NOTES:

1. THE UTILITY POLE TO BE USED MUST BE APPROVED BY SUMMERSIDE ELECTRIC PRIOR TO CONSTRUCTION.
2. NO MORE THAN 2EA POWER AND 2EA TELECOM CONDUIT PER UTILITY POLE (ONE SET FOR EACH NEIGHBORING PROPERTY).
3. IF PARALLEL SERVICE FEEDS ARE NEEDED OR UTILITY POLE DOES NOT HAVE SPACE FOR MORE CONDUITS ON IT, CONTACT SUMMERSIDE ELECTRIC PRIOR TO CONSTRUCTION.
4. STAND-OFFS TO BE HUBBELL CHANCE #6-CSO-24 OR APPROVED EQUIVALENT. SIZE ARM AS REQUIRED FOR NUMBER AND SIZE OF CONDUITS.
5. STAND-OFFS TO BE SPACED PER CEC 12-1114.
6. ELECTRICAL CONTRACTOR TO INSTALL CONDUIT AND STAND-OFFS UP UTILITY POLE TO 3m BELOW SECONDARY WIRING. SECURE FINAL 3m SEGMENT OF CONDUIT AND WEATHERHEAD TO UTILITY POLE FOR INSTALLATION BY SUMMERSIDE ELECTRIC.
7. LEAVE MINIMUM OF 3m OF CABLE PLUS 750mm OF TERMINATION SLACK.

Job Title: STANDARD CONSTRUCTION PRACTICES

City of Summerside Electric Utility 94 Ottawa Street Summerside, PE	Title: SINGLE UNDERGROUND RESIDENTIAL SERVICE		Drawn: G.R.W	Checked: --
	Scale: N.T.S.	Date: 12-27-2023	DWG-S3	Sketch No. REV 0



NOTES:

1. IF MORE THAN TWO SERVICE ENTRANCES ARE REQUIRED FROM THE SAME UTILITY POLE, THEN A URD BOX IS REQUIRED TO SPLIT THE POWER TO MULTIPLE LOCATIONS OFF OF THE POLE, OR THE POWER CAN BE SPLIT ON THE STRUCTURE (EX MULTI-SOCKET METER BANK).
2. URD BOX LOCATION TO BE APPROVED BY SUMMERSIDE ELECTRIC PRIOR TO CONSTRUCTION.
3. URD BOX CAN SPLIT TO A MAXIMUM OF 4EA SERVICE ENTRANCES.
4. EACH CUSTOMER IS ALLOCATED A MAXIMUM OF 1EA 200A SINGLE PHASE SERVICE FROM A STANDARD URD BOX.

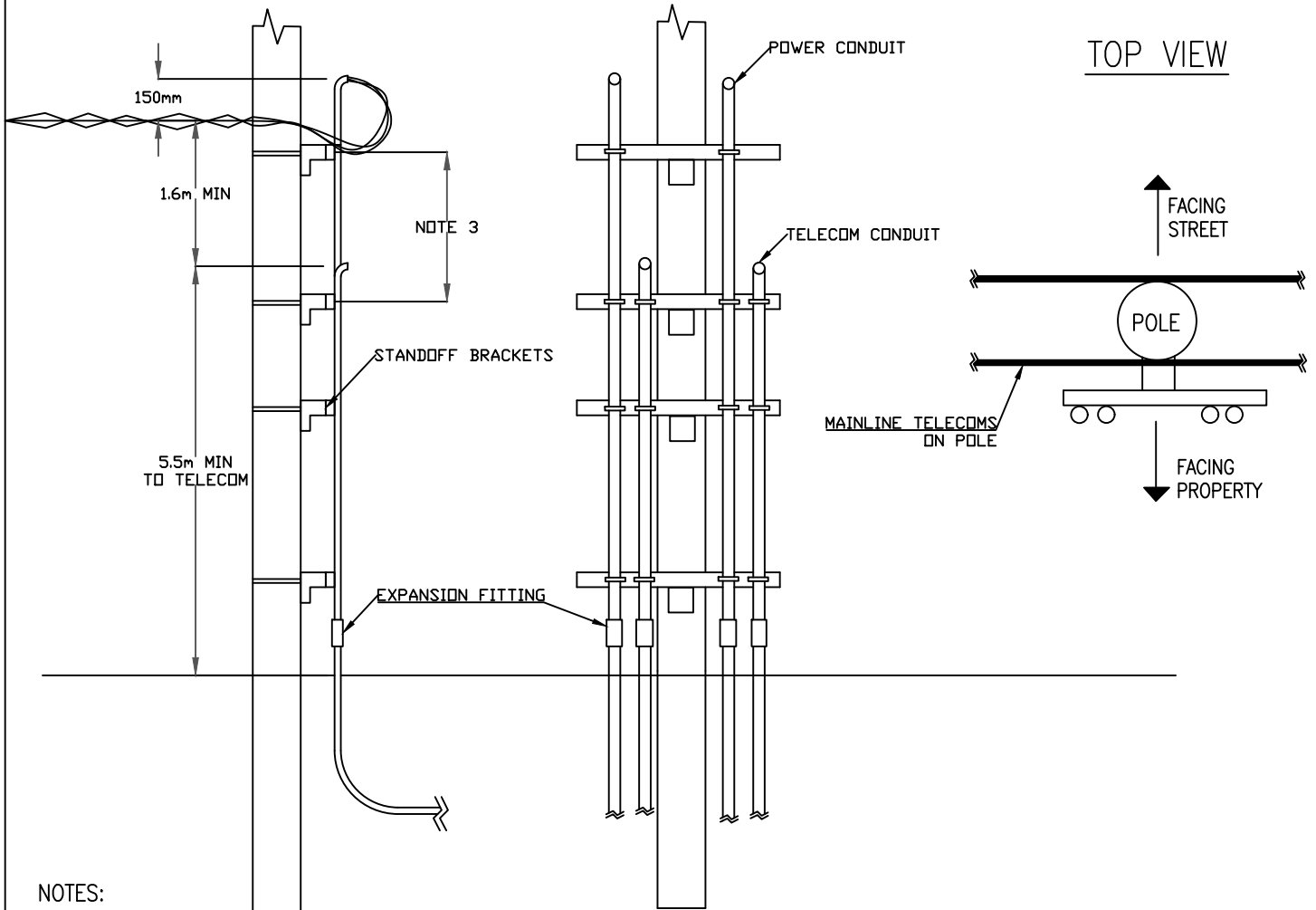
Job Title: STANDARD CONSTRUCTION PRACTICES

City of Summerside Electric Utility 94 Ottawa Street Summerside, PE	Title: MULTI UNDERGROUND RESIDENTIAL SERVICE		Drawn: G.R.W	Checked: --
	Scale: N.T.S.	Date: 12-27-2023	DWG-S4	Sketch No. REV 0

SIDE VIEW

FRONT VIEW

TOP VIEW



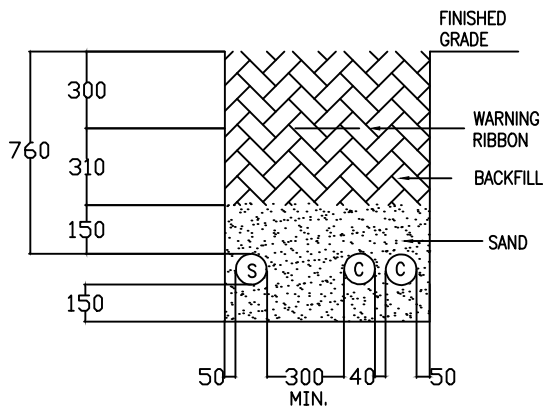
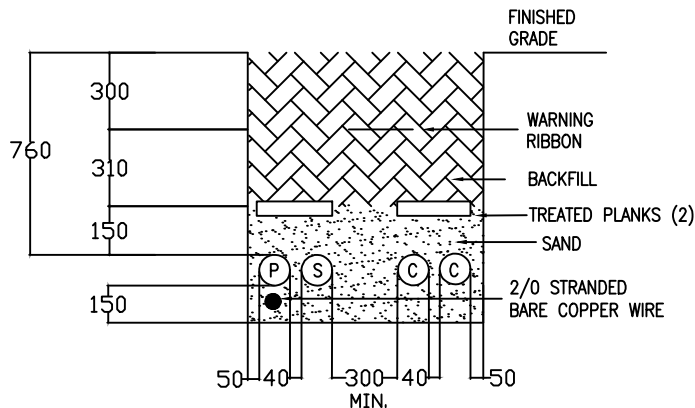
NOTES:

1. THE UTILITY POLE TO BE USED MUST BE APPROVED BY SUMMERSIDE ELECTRIC PRIOR TO CONSTRUCTION TO CONFIRM POWER CAPACITY.
2. STAND-OFFS TO BE HUBBELL CHANCE #6-CSO-24 OR APPROVED EQUIVALENT.
3. STAND-OFFS TO BE SPACED PER CEC 12-1114.
4. ELECTRICAL CONTRACTOR TO INSTALL CONDUIT AND STAND-OFFS UP UTILITY POLE TO 3m BELOW SECONDARY WIRING. SECURE FINAL 3m SEGMENT OF CONDUIT AND WEATHERHEAD TO UTILITY POLE FOR INSTALLATION BY SUMMERSIDE ELECTRIC.
5. STAND OFF BRACKETS TO BE SECURED TO POLE WITH MINIMUM OF 2EA $\frac{1}{2}$ " LAG SCREWS OF 4" LENGTH.
6. MAXIMUM OF 2EA ADDRESSES SERVICED FROM EACH UTILITY POLE (1 POWER AND 1 TELECOM PER ADDRESS). CONDUITS TO BE GROUPED BY THE ADDRESS THAT THEY SERVE.
7. ARM OF THE STAND-OFFS TO BE HUBBELL CHANCE PART #C2WT## STRUT ARM, OR 1-5/8" GALVANIZED UNISTRUT OF SUFFICIENT LENGTH FOR THE SIZE AND NUMBER OF CONDUITS UP TO MAX OF 600mm.
8. CONDUIT STRAPS AND ALL COMPONENTS TO SECURE TO THE STAND OFF ARM ARE TO BE RATED FOR OUTDOOR APPLICATION.

Job Title: STANDARD CONSTRUCTION PRACTICES

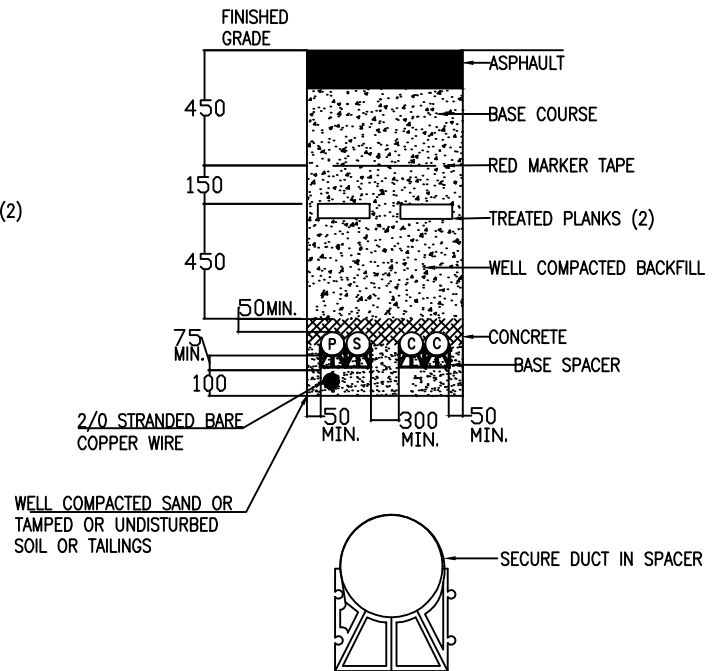
City of Summerside Electric Utility 94 Ottawa Street Summerside, PE	Title: STAND OFF BRACKETS		Drawn: G.R.W	Checked: --
	Scale: N.T.S.	Date: 12-28-2023	DWG-S5	Sketch No. REV 0

DETAIL A: PRIMARY VOLTAGE,
MAINLINE SECONDARY, AND MAINLINE
TELECOM DUCTS - NON TRAFFIC AREA



DETAIL C: CUSTOMER
SERVICE SECONDARY AND
TELECOM DUCTS

DETAIL B: PRIMARY VOLTAGE,
MAINLINE SECONDARY, AND MAINLINE
TELECOM DUCTS - TRAFFIC AREA



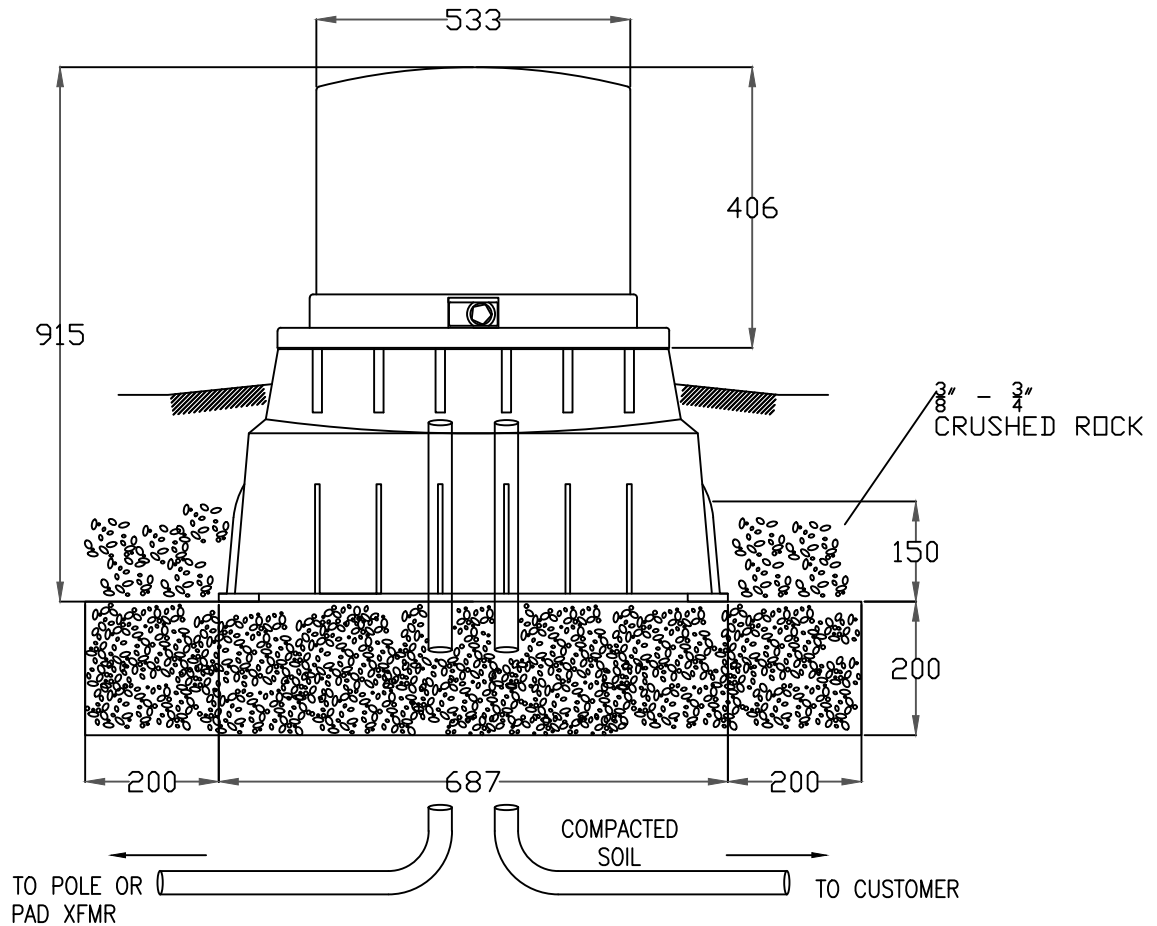
P - PRIMARY
S - SECONDARY
C - COMMUNICATION

NOTES:

- 1) MINIMUM DEPTHS AS PER CEC 12-012 AND TABLE 53.
- 2) ALL PRIMARY VOLTAGE, MAINLINE SECONDARY, AND MAINLINE TELECOM CONDUITS TO HAVE PLANKS INSTALLED OVER TOP. PLANKS TO EXTEND MIN 50MM BEYOND EACH SIDE OF THE CONDUITS.
- 2.1) MAINLINE DEFINED AS COMMON CONDUIT/CABLE TO SERVICE MULTIPLE CUSTOMERS FOR UTILITY CARE AND PRESERVATION (EX. POLE TO URD, OR URD TO URD CABLES, A SINGLE CABLE TO A MULTI-METER BANK IS NOT CONSIDERED MAINLINE).
- 2.2) FOR SHORT RUNS (LESS THAN 3M) PLANKS CAN BE OMITTED.
- 3) INDIVIDUAL SERVICE CONDUITS PROTECTION PER CUSTOMERS DESIGN.
- 4) ALL HIGH VOLTAGE, MAINLINE SECONDARY, AND MAINLINE TELECOM CONDUITS PASSING UNDER VEHICULAR TRAFFIC AREA TO HAVE CONCRETE CAP LAYER INSTALLED (DETAIL D).
- 5) ALL PRIMARY VOLTAGE TRENCHES TO CONTAIN MIN 1EA 8 AWG BARE CU GROUND WIRE FROM END TO END TERMINATED AT EACH END DEVICE.
- 6) ALL TELECOM CONDUITS TO BE SEPARATED FROM POWER CONDUITS BY MIN 300MM.
- 7) ALL CONDUITS TO HAVE MIN 40MM SEPARATION FROM CONDUIT TO CONDUIT.
- 8) ALL PRIMARY AND MAINLINE SECONDARY CONDUITS REQUIRE AS-BUILT TO BE PROVIDED TO THE UTILITY PRIOR TO ENERGIZATION.
- 9) CONDUITS TO BE KEPT CLEAN AND CLEAR OF DEBRIS. CONTRACTOR TO PULL MANDREL THROUGH ALL PRIMARY AND MAINLINE SECONDARY CONDUITS PRIOR TO HAND OVER TO UTILITY.
- 10) ALL CONDUITS TO HAVE A PULL ROPE INSTALLED BY CONTRACTOR.

Job Title: STANDARD CONSTRUCTION PRACTICES

City of Summerside Electric Utility 94 Ottawa Street Summerside, PE	Title: TYPICAL TRENCH DETAILS		Drawn: G.R.W	Checked: --
	Scale: N.T.S.	Date: 09/09/20	DWG-U1	Sketch No. Rev 03



NOTES:

1. Final grade to be sloped away from pedestal for proper drainage.
2. Pedestal installed at base of pole or pedestal installed on easement without pole must maintain a minimum 1000mm from lot line facing road or right of way.
3. Pedestal to sit on 200mm layer of compacted 3/8-3/4" crushed gravel base. 200mm of gravel to protrude around entire perimeter of pedestal.
4. Backfill must be compacted from bottom of trench housing conduit to gravel base.
5. Material used to hold pedestal in place and grade away is to be topsoil.
6. All conduits are to be rigid P.V.C.
7. All 90's in secondary bus system are to be rigid P.V.C. (Pole-Pedestal and/or transformer.)
8. All conduit to be properly identified with waterproof tags indicating incoming and outgoing lines and civic address # for each applicable service conduit.
9. Secondary pedestals are to be Hubbell Chance #SP101536MDH0P56, available for purchase from Summersdie Electric or they can be purchased at a third party supplier.
10. Minimum conductor size feeding a secondary tap box is 3/0 copper, when more than two are to be fed off the box, larger conductor may be required. Summerside Electric is to be contacted for conductor size.
11. All measurements in mm unless otherwise specified.

Job Title: STANDARD CONSTRUCTION PRACTICES

City of Summerside Electric Utility 94 Ottawa Street Summerside, PE	Title: SECONDARY ABOVE GRADE PEDESTAL		Drawn: T.P.S.	Checked: -
	Scale: N.T.S.	Date: 8/29/22	DWG-U2-1	Sketch No. rev 02

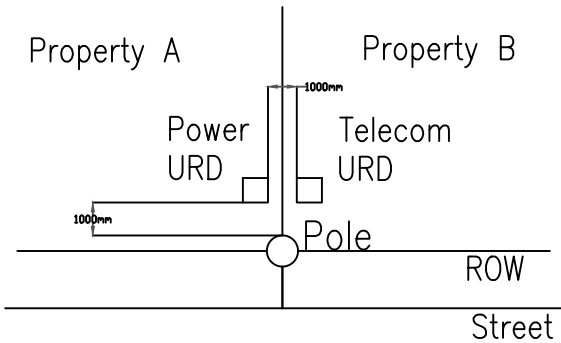


Figure 1: Pedestal Location

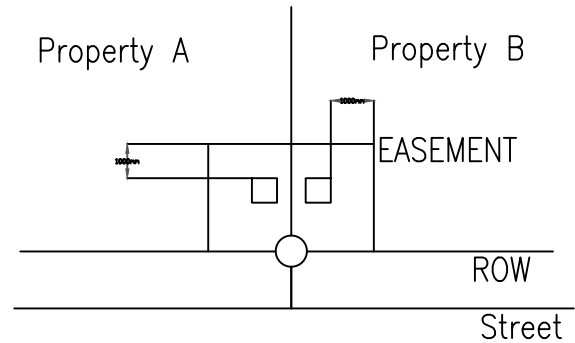


Figure 1: Easement Location

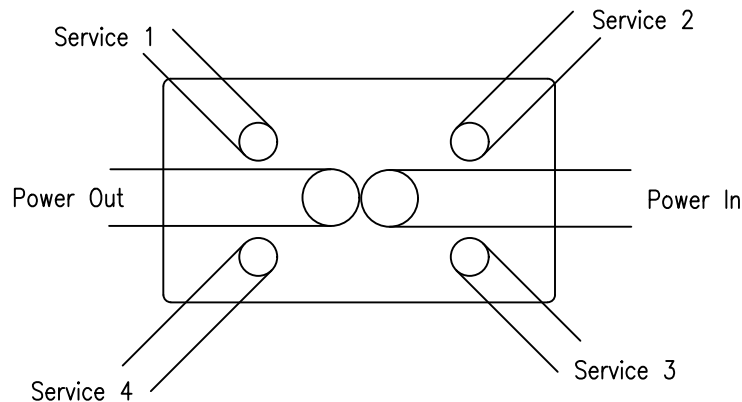


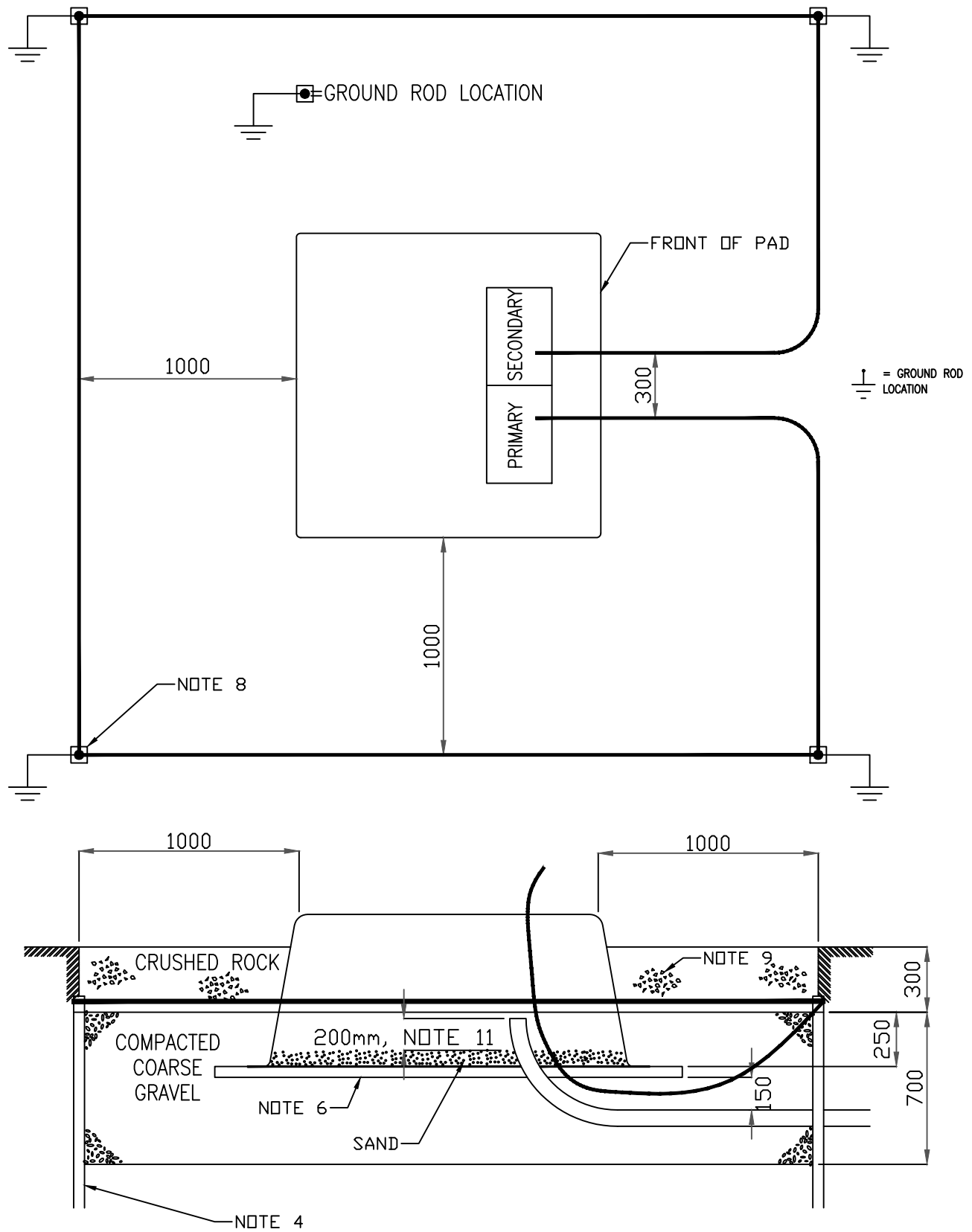
Figure 3: Pedestal Conduit Location

NOTES:

1. The pedestal(s) are to be placed behind the utility pole relative to the street. They can be in any configuration so long as; they are on the property line, or they are contained within an easement between the properties, see Figure 1 for an example.
2. The pedestal(s) are to be placed a min of 1000mm away from the pole and any anchors. If no pole exists in the location, the pedestal(s) are to be placed a min of 2000mm off of the street curb (or 1000mm from sidewalk if applicable).
3. The pedestals are not to be placed on top of any other underground utilities (water, sewer, storm lines, etc..).
4. The incoming (and outgoing) feed conduit(s) are to be placed in the center of the pedestal. The service conduits are to be placed around the feed conduits as needed. The service conduits should be angled towards each property as needed, See Figure 3. Each service conduit must be tagged with the civic address that it is to service.
5. When installing a new pedestal, a stub 90 of 51mm (2") rigid PVC is to be installed extending a min of 1.0m out from under the pedestal for future use for each property it will service. The stub is to be dry capped on both ends for future use.
6. Each pedestal can supply a max of 4ea services. Each service is only allowed 1 cable up to 500kcmil in size.
7. Each service in a pedestal is allotted 1ea connection up to 200A. No parallel Service conductors are allowed without written approval from Summerside Electric.

Job Title: STANDARD CONSTRUCTION PRACTICES

City of Summerside Electric Utility 94 Ottawa Street Summerside, PE	Title: SECONDARY ABOVE GRADE PEDESTAL DETAILS		Drawn: G.R.W.	Checked: -
	Scale: N.T.S.	Date: 8/29/22	DWG U2-2	Sketch No. rev 00



Job Title: STANDARD CONSTRUCTION PRACTICES

City of Summerside
Electric Utility
94 Ottawa Street
Summerside, PE

Title: FIBREGLASS PAD FOR PADMOUNTED
EQUIPMENT INSTALLATION DETAILS

Scale: N.T.S.

Date: 6/24/21

Drawn:
T.P.S.

DWG U3-1

Checked:
-

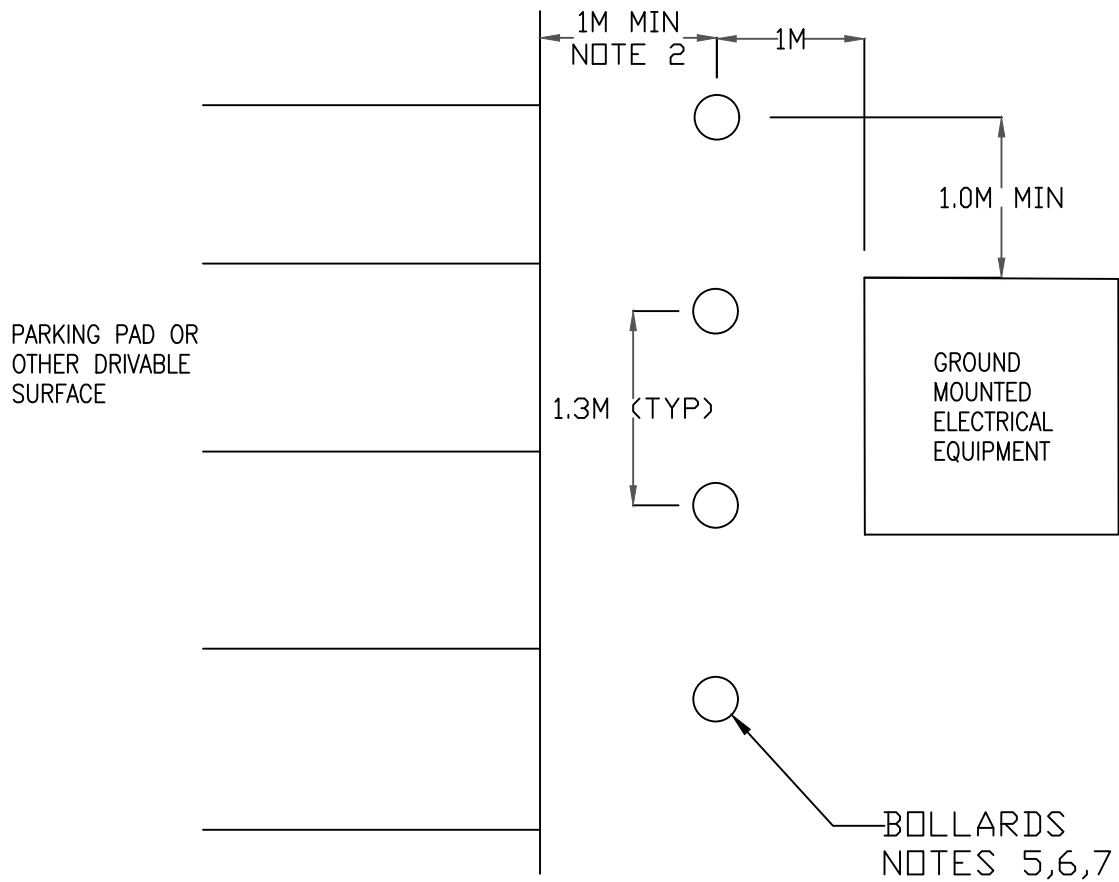
Sketch No.
rev 01

NOTES:

1. Front of pad to be at least 3m away from buildings or other objects to permit operational access.
2. Excavate an area equal to the size of the pad plus 1m on all sides by 900mm deep and dispose of the backfill.
3. Ensure all conduits line up with the transformer pad opening relevant to voltage class. All ducts shall be fished, capped, and labeled with waterproof tags as to where they terminate.
4. Install four 3/4" x 3m ground rods as per drawing.
5. Backfill the excavation with 300mm of coarse gravel with 150mm of sand around the ducts.
6. Install 50mm x 250mm pressure treated planks under all four edges of the fibreglass pad.
7. Backfill the excavation to within 300mm of final grade with coarse gravel.
8. Install a loop of 2/0 bare copper as shown, connected to the four ground rods with ground rod clamps, U-bolt ground clamps or other connectors approved by the manufacturer for this application.
9. Backfill the excavation to final grade with $\frac{3}{8}$ " TO $\frac{3}{4}$ " crushed rock.
10. For larger ground grids encompassing multiple pieces of equipment, a specific ground grid design needs to be made, consult project drawings or request information from project engineer or Summerside Electric.
11. Trim conduits flush to each other 200mm above sand bed.
12. Tag all conduits with identification as to where they terminate to.

Job Title: STANDARD CONSTRUCTION PRACTICES

City of Summerside Electric Utility 94 Ottawa Street Summerside, PE	Title: FIBREGLASS PAD FOR PADMOUNTED EQUIPMENT INSTALLATION DETAILS		Drawn: T.P.S.	Checked: —
	Scale: N.T.S.	Date: 6/24/21	DWG—U3—2	Sketch No. rev 01



NOTES:

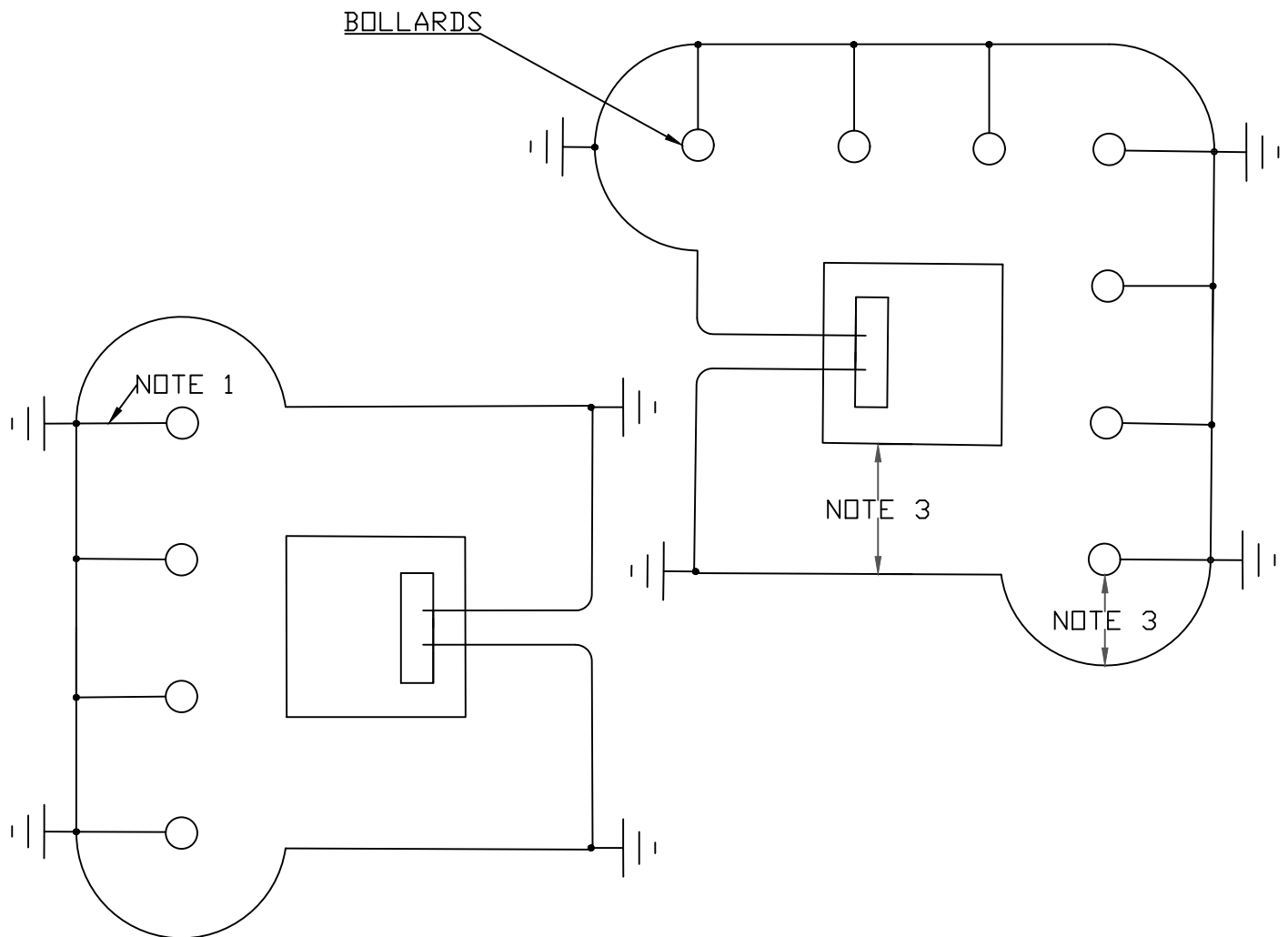
1. BOLLARDS ARE REQUIRED AT SUMMERSIDE ELECTRIC DISCRETION IN ALL AREAS AT RISK OF VEHICULAR CONTACT. BOLLARDS ARE ONLY REQUIRED ON THE SIDE OF THE EQUIPMENT EXPOSED TO THE HAZARD.
2. THE BOLLARDS ARE TO BE INSTALLED MINIMUM 1.0M OFF OF THE CURB OR EDGE OF DRIVABLE SURFACE.
3. THE BOLLARDS ARE TO BE SPACED 1.3M APART.
4. THE BOLLARD WALL IS TO EXTEND A MIN OF 1.0M PAST THE EDGE OF THE EQUIPMENT THEY ARE PROTECTING.
5. BOLLARDS ARE TO BE 150MM SCHEDULE 40 STEEL POSTS FILLED WITH CONCRETE.
6. YELLOW HIGH VISIBILITY PLASTIC POST GUARDS ARE TO BE INSTALLED OVER TOP OF THE BOLLARDS.
7. THE BOLLARDS ARE TO BE 3.0M IN LENGTH WITH 1.5M EMBEDMENT, AND 1.5M PROTRUSION.

Job Title: STANDARD CONSTRUCTION PRACTICES

City of Summerside Electric Utility 94 Ottawa Street Summerside, PE	Title: BOLLARD VEHICAL PROTECTION		Drawn: B.W.M.	Checked: G.G
	Scale: N.T.S.	Date: 04/08/22	DWG-U4-1	Sketch No. rev 03

⏏ = GROUND ROD
LOCATION

SAMPLE BOLLARD GROUND GRID CONFIGURATIONS



NOTES:

1. EACH STEEL BOLLARD IS TO BE BONDED TO THE GROUND GRID WITH APPROPRIATE CONNECTORS RATED FOR UNDERGROUND APPLICATION.
2. GROUNDING SHALL BE IN ACCORDANCE WITH THE LATEST CANADIAN ELECTRIC CODE SECTION 10 PART 1
3. GROUND GRID MAIN LOOP IS TO EXTEND 1.0M AROUND THE COMBINED FOOTPRINT OF THE PAD AND BOLLARDS. FOR ALL SIDES OF THE EQUIPMENT WITH BOLLARDS, PUSH THE MAIN LOOP OUT 1.0M PAST THE BOLLARDS.
4. FOR LARGER GROUND GRIDS ENCOMPASSING MULTIPLE PIECES OF EQUIPMENT, A SPECIFIC GROUND GRID DESIGN NEEDS TO BE MADE, CONSULT PROJECT DRAWINGS OR REQUEST INFORMATION FROM PROJECT ENGINEER OR SUMMERSIDE ELECTRIC.

Job Title: STANDARD CONSTRUCTION PRACTICES

City of Summerside
Electric Utility

94 Ottawa Street
Summerside, PE

Title:

BOLLARD GROUND GRID

Scale:

N.T.S.

Date:

04/08/22

Drawn:

B.W.M.

DWG-U4-2

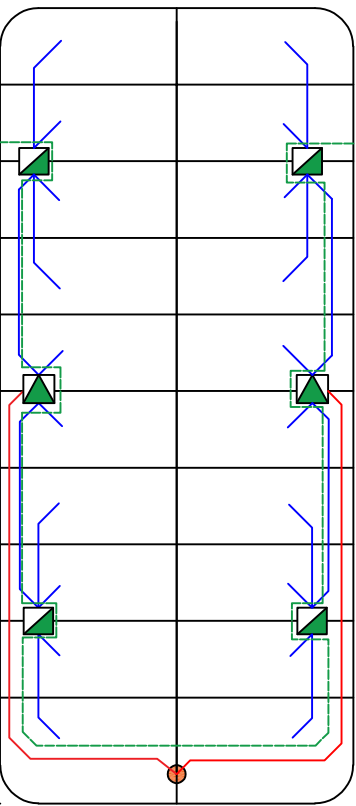
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G.G

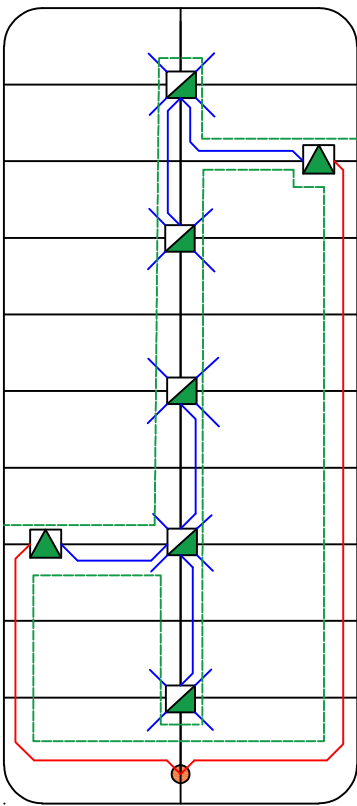
Sketch No.

rev 03

Front Lot Service Example



Back Lot Service Example



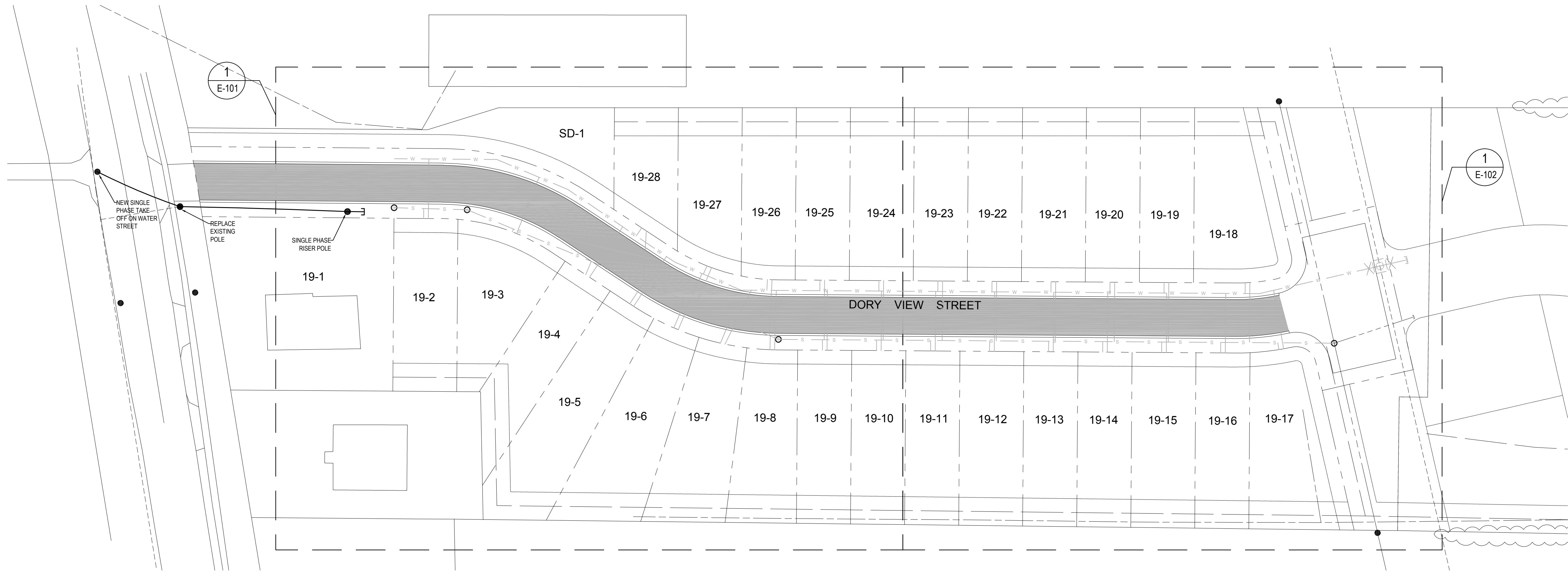
Side Streets

Public Street and ROW

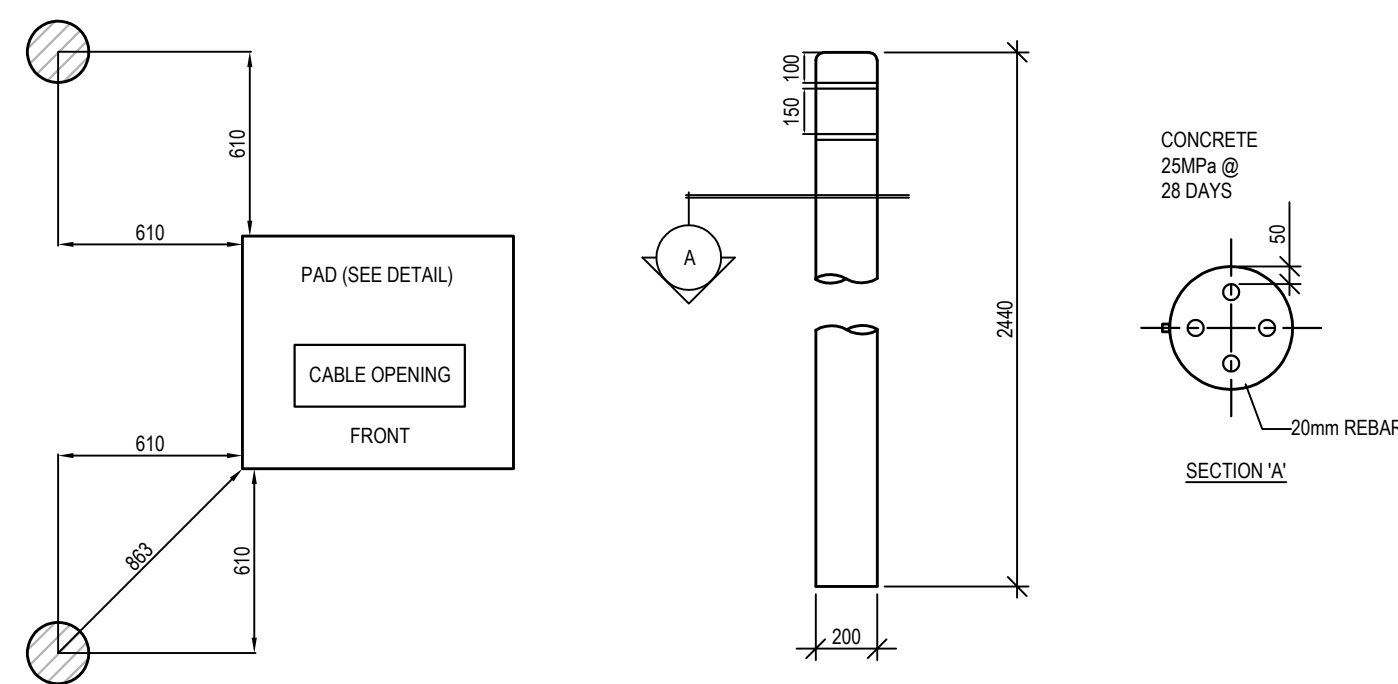
- URD Box
- Transformer
- Utility Pole
- High Voltage Underground Cable
- Low Voltage Underground Cable
- Easement or Right Of Way (ROW)

- Notes:
- 1) All shared or common electrical infrastructure (cables servicing multiple addresses, URD boxes, Transformers, etc.) need to be located with a public Right Of Way, or within an easement granting Summerside Utility Access.
 - 2) URDs and transformers need to be located in areas not at risk of vehicular contact, or protection (bollards) need to be installed to protect them.
 - 3) Transformers need to be located in vehicle accessible areas for crane access. Near streets, driveways, gravel lanes, etc...
 - 4) When placing underground infrastructure in back lot areas, consideration should be made for restrictions to fencing and post installation.
 - 5) Where a property service line passes through one property, to service a second property, it must be routed through an easement of public ROW.

Job Title: STANDARD DEVELOPMENT OPTIONS			
City of Summerside Electric Utility 94 Ottawa Street Summerside, PE	Title: Underground Community Servicing		Drawn: Garrett Webster
	Scale: N.T.S.	Date: 02/07/2024	Checked: - Sketch No. rev 00



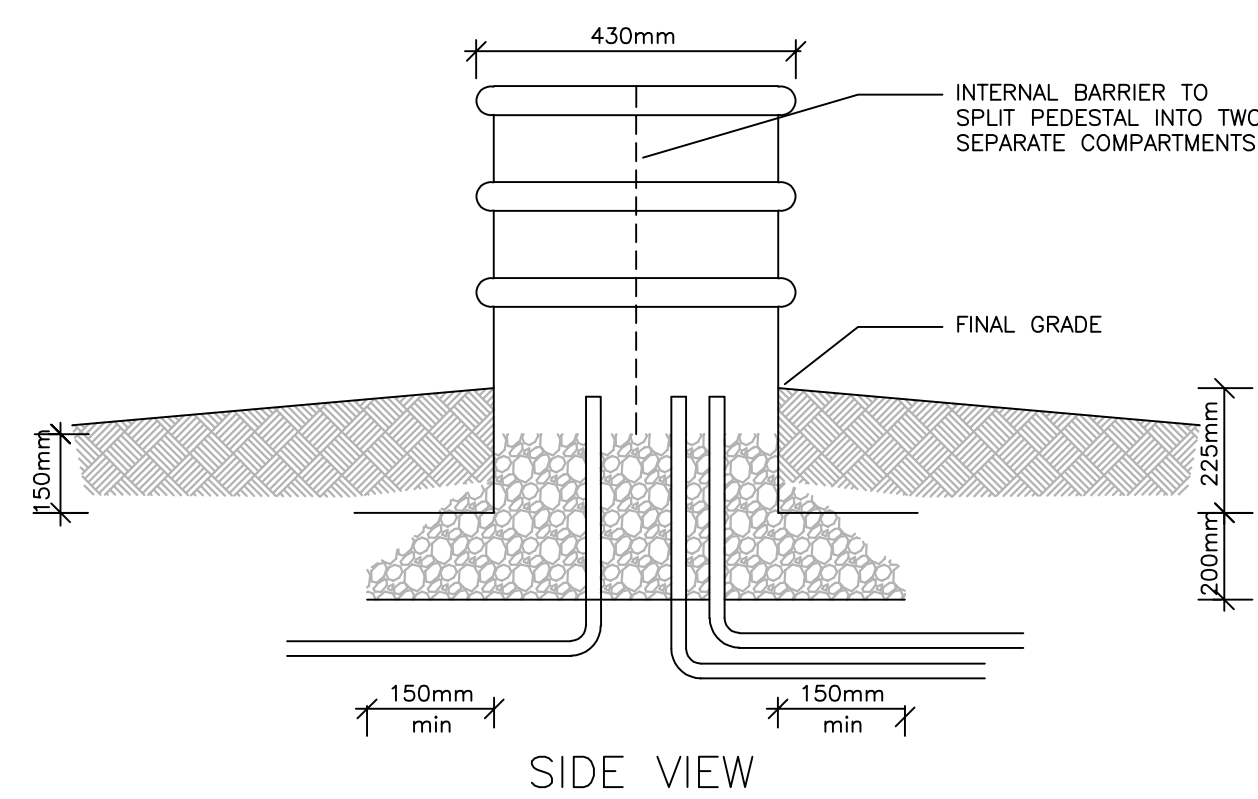
1 KEY PLAN
E-001 SCALE: 1:500



NOTES:

1. BOLLARDS ARE NOT REQUIRED AS LONG AS TRANSFORMER PADS ARE MORE THAN 3 METERS FROM THE EDGE OF THE ROAD.

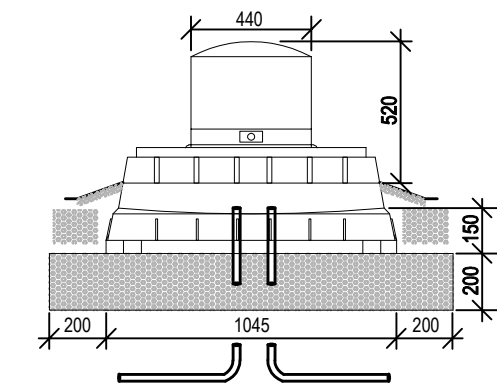
2 PAD MOUNT TRANSFORMER – BOLLARDS
E-001 SCALE: N.T.S.



NOTES:

1. COMMUNICATION PEDESTAL (CP) TO BE TYPICALLY PENCELL #AGLPNS-183218-HP2-TEL OR EQUAL BY DIV. 16.
2. FINAL GRADE TO BE SLOPED FOR GOOD DRAINAGE.
3. PEDESTAL TO SIT ON 8" LAYER OF GRAVEL BASE WITH 6" PROTRUDING FROM ALL SIDES. GRAVEL BY THIS CONTRACTOR.
5. ALL CONDUIT AND/OR CONDUCTOR TO BE PROPERLY MARKED.
6. IDENTIFY INCOMING AND OUTGOING CONDUITS. IDENTIFY SERVICE TO LOT WITH "C.A." OR "LOT".
7. CONDUIT TO BE BURIED PER ELECTRICAL CODE.

3 COMMUNICATION PEDESTAL DETAIL
E-001 SCALE: NTS



NOTES:

1. FINAL GRADE TO BE SLOPED AWAY FROM PEDESTAL FOR PROPER DRAINAGE.
2. PEDESTAL INSTALLED AT BASE OF POLE OR:
A) PAD MOUNT EQUIPMENT MUST MAINTAIN MINIMUM 1000mm FROM POLE AND MUST BE ON PRIVATE PROPERTY.
B) PEDESTAL INSTALLED ON EASEMENT WITHOUT POLE MUST MAINTAIN A MINIMUM 1000mm FROM LOT LINE FACING ROAD OR RIGHT OF WAY.
3. PEDESTAL TO SIT ON 200mm LAYER OF COMPACTED GRAVEL BASE 150mm OF GRAVEL TO PROTRUDE AROUND ENTIRE PERIMETER OF PEDESTAL.
4. BACKFILL MUST BE COMPACTED FROM BOTTOM OF TRENCH HOUSING CONDUIT TO GRAVEL BASE.
5. MATERIAL USED TO HOLD PEDESTAL IN PLACE AND GRADE AWAY TO BE TOPSOIL.
6. ALL CONDUIT SUBJECT TO CRUSHING DUE TO COMPACTION ARE TO BE P.V.C. INDICATING INCOMING AND OUTGOING LINES. PLEASE IDENTIFY WITH CIVIC #.
7. ALL 90°s IN SECONDARY BUS SYSTEM ARE TO BE P.V.C. (POLE - PEDESTAL AND/OR TRANSFORMER).
8. ALL CONDUIT TO BE PROPERLY IDENTIFIED WITH WATERPROOF TAGS INDICATING INCOMING AND OUTGOING LINES. PLEASE IDENTIFY WITH CIVIC #.
9. ORDER FOR COMPLETE UNITS - PEDESTAL WITH H.D. POLYETHYLENE BASE AG-30HD.
10. MINIMUM CONDUCTOR SIZE FEEDING A SECONDARY TAP BOX IS 3/0 COPPER, WHEN MORE THAN TWO ARE TO BE FED OFF THE BOX, LARGER CONDUCTOR MAY BE REQUIRED. MEG. IS TO BE CONTACTED FOR CONDUCTOR.

4 SECONDARY ABOVE GRADE PEDESTAL
E-001 SCALE: NTS



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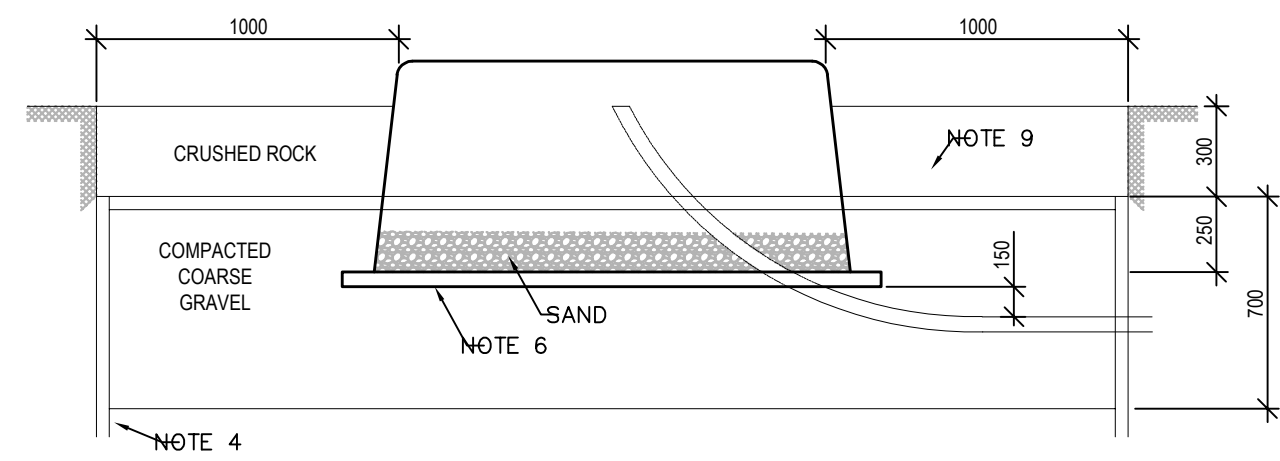
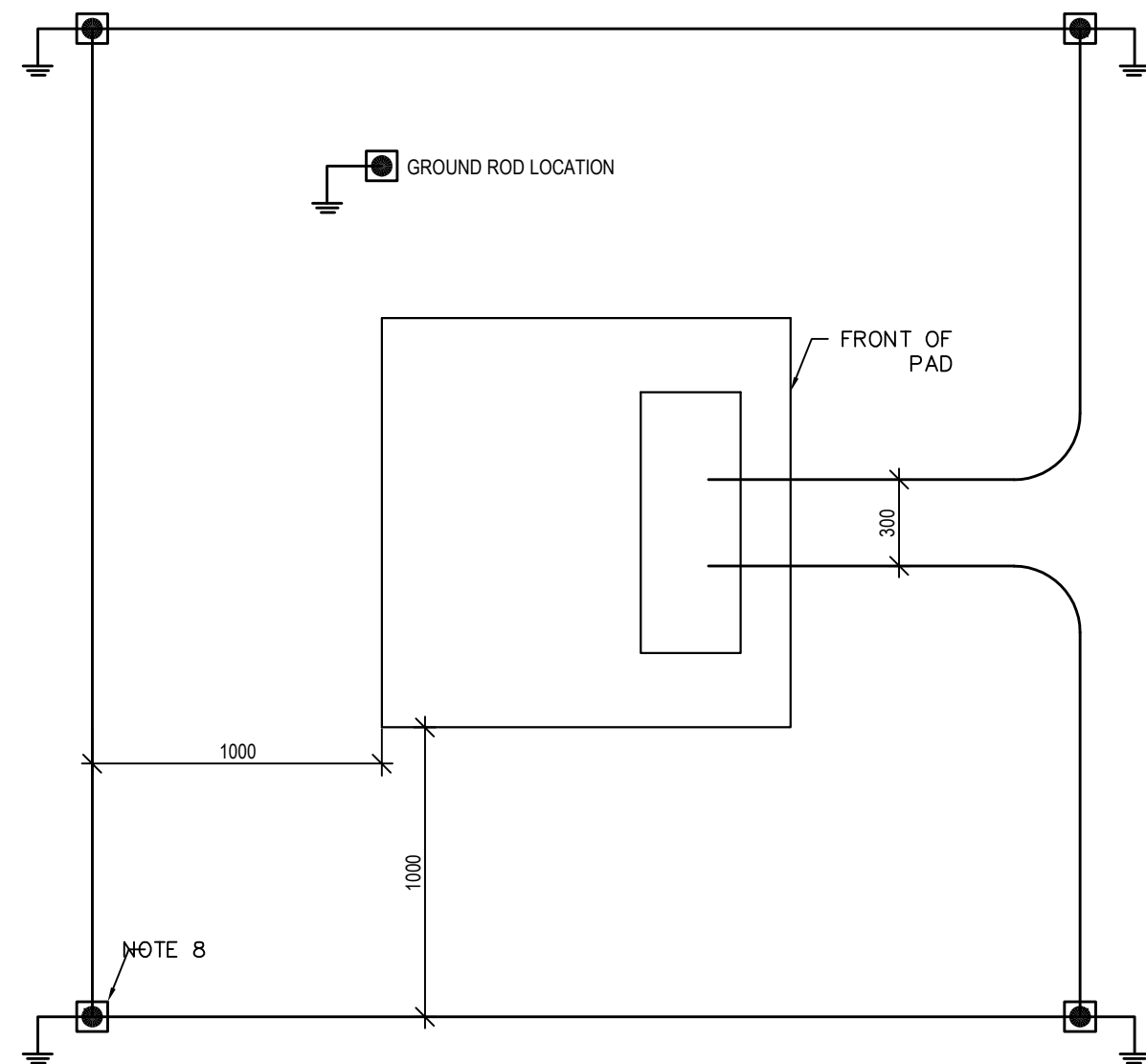
Project Name:

**DORY VIEW AT WATERS EDGE
SUMMERSIDE, PE**

Drawing Title:

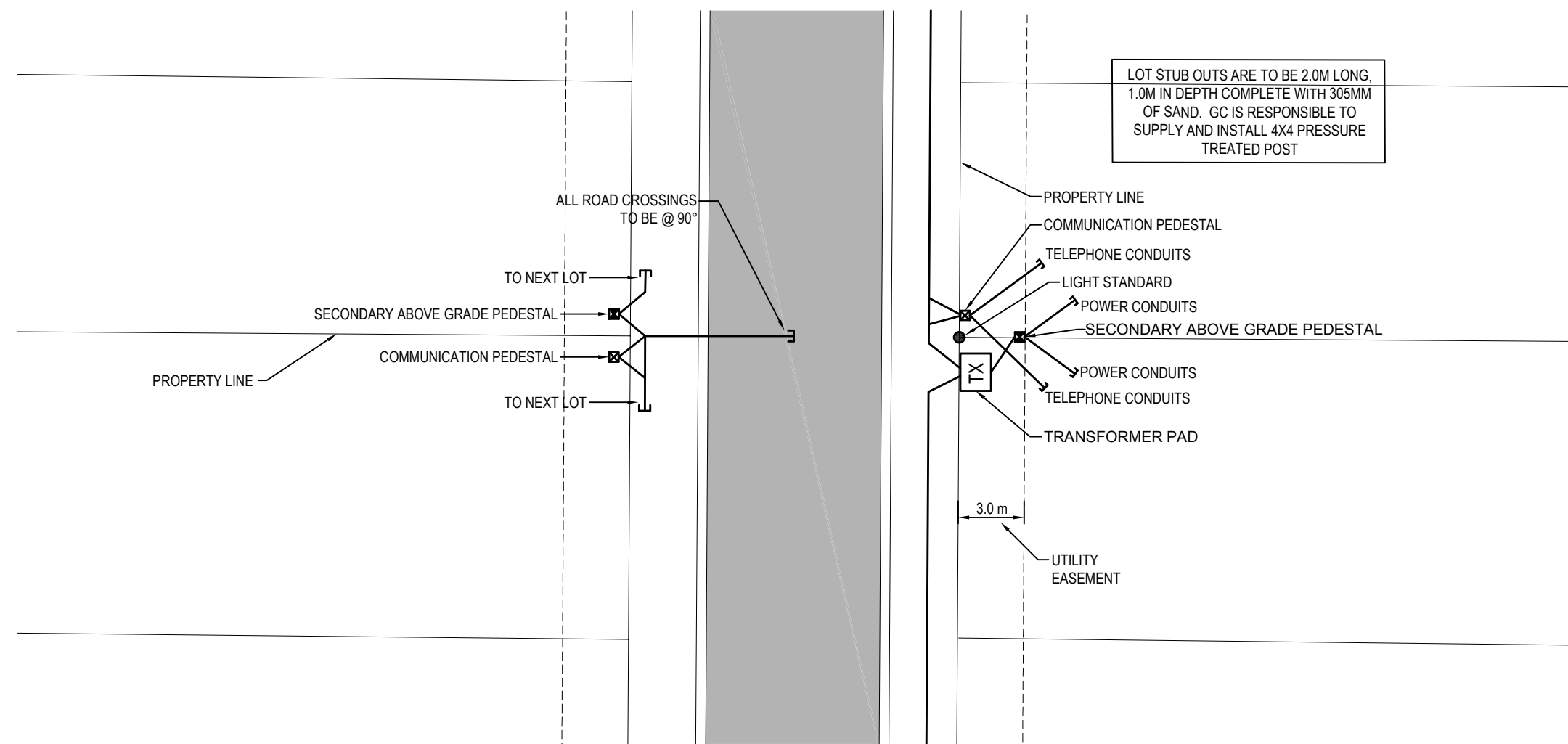
ELECTRICAL KEY PLAN & DETAILS

Date	MAY 22, 2019	Sheet
Scale	AS NOTED	E-001
Drawn	SCW	
Engineer	CM	
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		Rev No. 0

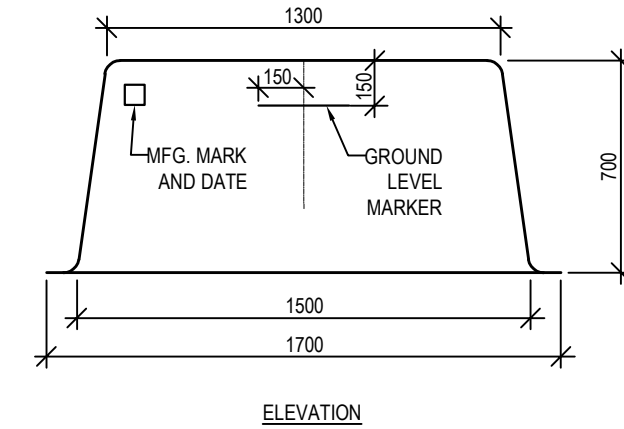
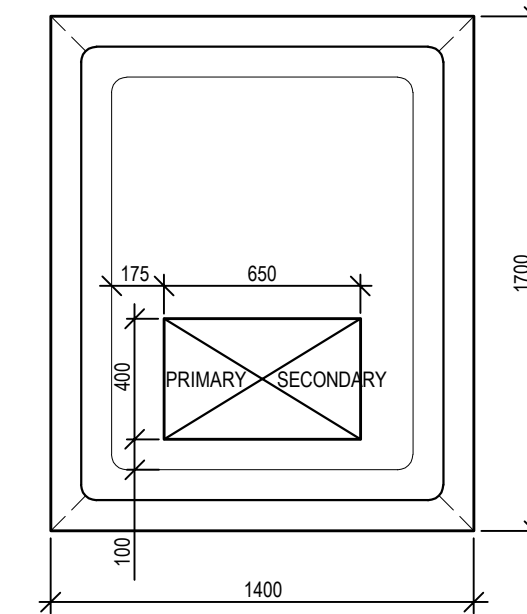


- NOTES:
1. FRONT OF PAD TO BE AT LEAST 3m AWAY FROM BUILDINGS OR OTHER OBJECTS TO PERMIT OPERATIONAL ACCESS.
 2. EXCAVATE AN AREA EQUAL TO THE SIZE OF THE PAD PLUS 1m ON ALL SIDES BY 900mm DEEP AND DISPOSE OF THE BACKFILL.
 3. INSTALL ALL DUCTS AS SPECIFIED BY SUMMERSIDE ELECTRIC AND ENSURE THEY ARE FISHED, CAPPED AND IDENTIFIED AS TO WHERE THEY TERMINATE.
 4. INSTALL FOUR 3/4" X 3m GROUND RODS AS PER DRAWING.
 5. BACKFILL THE EXCAVATION WITH 300mm OF COARSE GRAVEL WITH 150mm OF SAND AROUND THE DUCTS.
 6. INSTALL 2"X10" PRESSURE TREATED PLANKS UNDER ALL FOUR EDGES OF THE FIBERGLASS PAD AND INSTALL PAD.
 7. BACKFILL THE EXCAVATION TO WITHIN 300mm OF FINAL GRADE WITH COARSE GRAVEL.
 8. INSTALL A LOOP OF 20 BARE COPPER AS SHOWN, CONNECTED TO THE FOUR GROUND RODS WITH THE GROUND ROD CLAMPS (REFERENCE SUMMERSIDE ELECTRIC SON 7212303Q). U-BOLT GROUND CLAMPS OR OTHER CONNECTORS APPROVED BY THE MANUFACTURER FOR THIS APPLICATION.
 9. BACKFILL THE EXCAVATION TO FINAL GRADE WITH CRUSHED ROCK 3/4" TO 3/8" GRADE.
 10. IF SPECIFIED BY SUMMERSIDE ELECTRIC, PROTECTION FROM VEHICLES SHALL BE INSTALLED AS PER ED9U-60.
 11. INSTALL 150mm OF SAND INSIDE THE PAD AS A CABLE BED.
 12. REFER TO SECTION 3U FOR CLEARANCES.

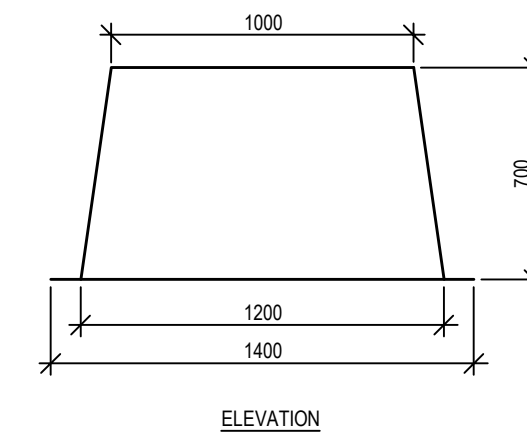
1 FIBERGLASS PAD FOR PADMOUNTED EQUIPMENT INSTALLATION DETAILS
E-002 SCALE: NTS



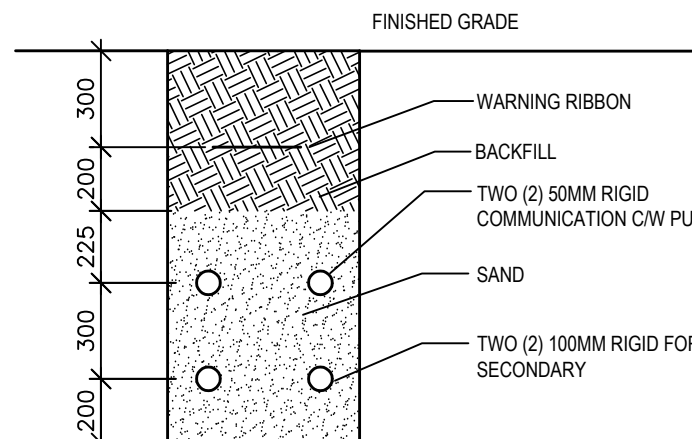
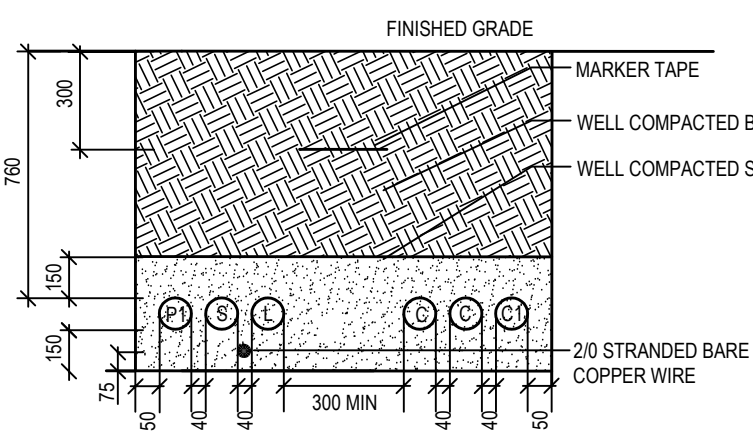
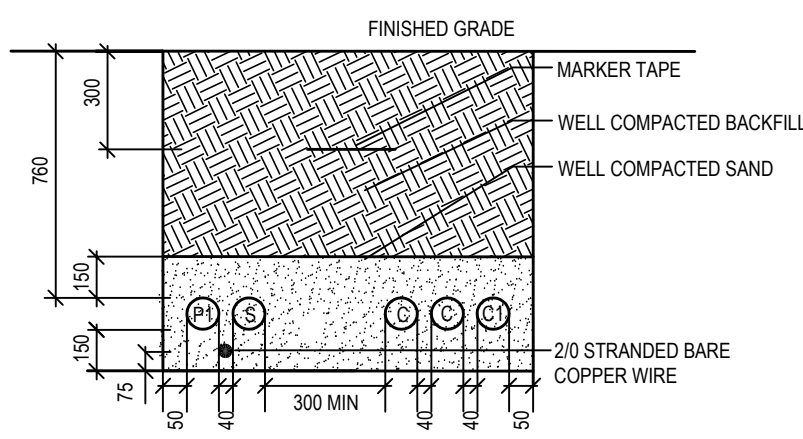
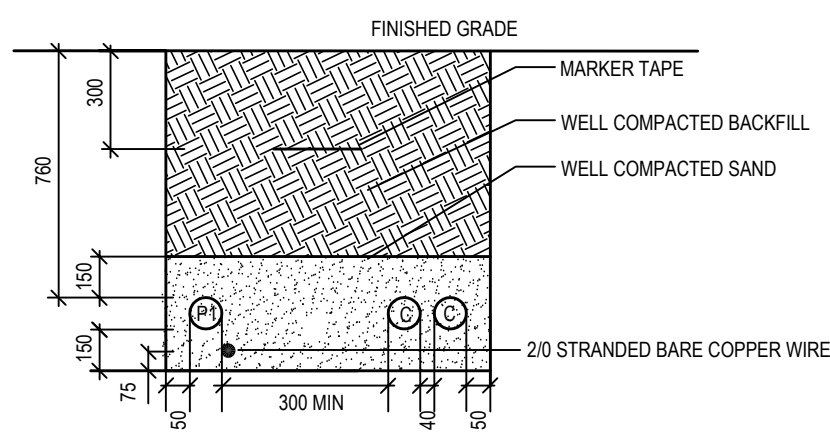
3 TYPICAL POWER AND COMMUNICATION PEDESTAL LAYOUT, EASEMENT AND ROAD CROSSING DETAIL
E-002 SCALE: NTS



- NOTES:
1. FIBERGLASS PAD SHALL BE CONSTRUCTED WITH SUFFICIENT REINFORCING IN THE WALL AND TOP TO BE CAPABLE OF ACCOMMODATING A 4500kg DIRECT VERTICAL LOAD.
 2. TOP SHALL HAVE A SMOOTH, TRUE SURFACE. MAXIMUM DEFLECTION UNDER 1500kg LOAD SHALL BE 2mm.
 3. MINIMUM FIBERGLASS THICKNESS SHALL BE 7mm. MINIMUM MASS 48kg.
 4. EXTERIOR FINISH SHALL BE GELCO COATED GREEN WITH ULTRA-VIOLET CONTROL 4mm THICK.
 5. ANY WOOD USED FOR FABRICATION SHALL BE THOROUGHLY ENCASED IN FIBERGLASS.
 6. GROUND LEVEL MARKER SHALL BE 25mm WIDE, SUPER ADHESIVE MYLAR TAPE. MINIMUM 300mm LG.
 7. APPROVAL OF PAD WILL BE SUBJECT TO TESTING BY SUMMERSIDE ELECTRIC STANDARDS DEPARTMENT.
 8. ALL DIMENSIONS SHOWN ARE MILLIMETERS.
 9. THE INSTALLATION SHALL MEET THE LOCATION REQUIREMENTS OF CANADIAN ELECTRICAL CODE RULE 26-242.

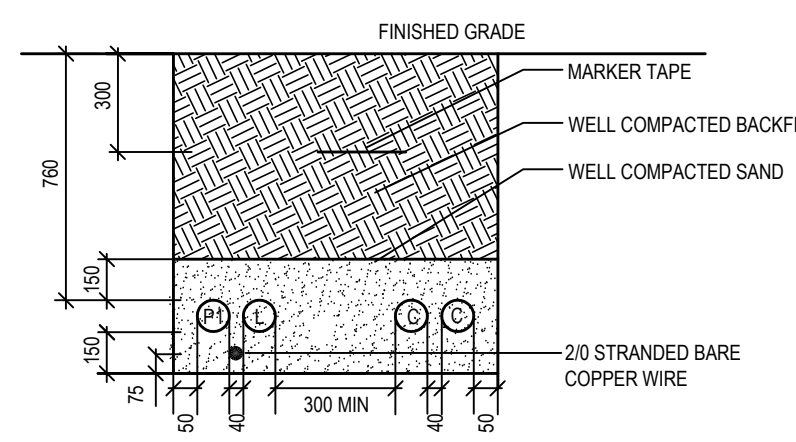
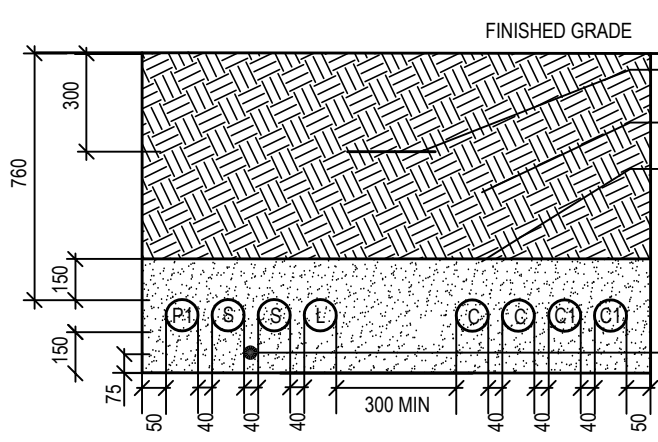
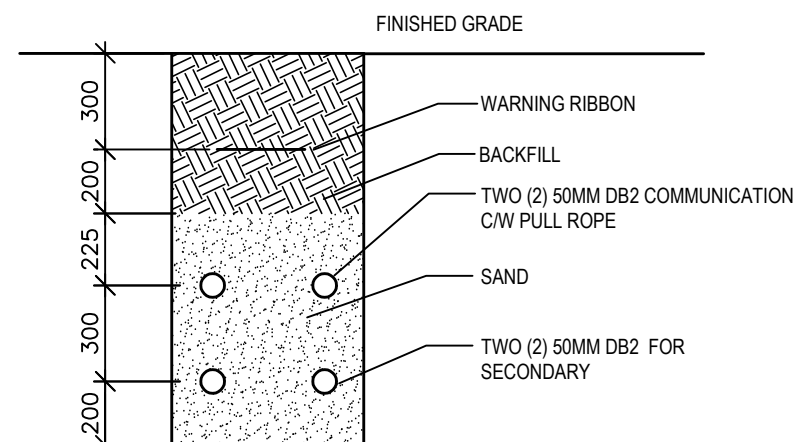
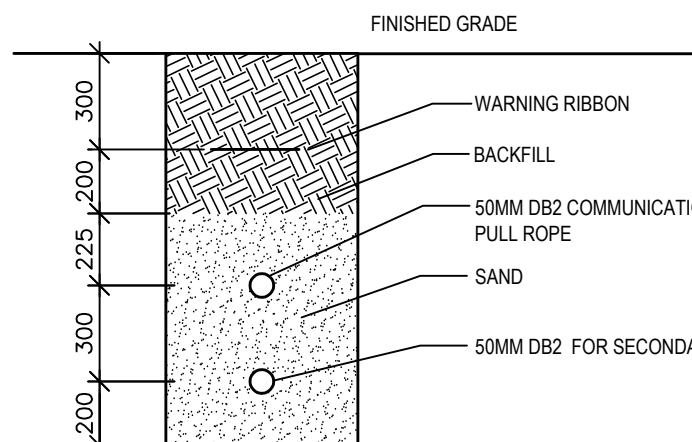


5 FIBERGLASS PAD FOR SINGLE PHASE TRANSFORMERS
E-002 SCALE: NTS



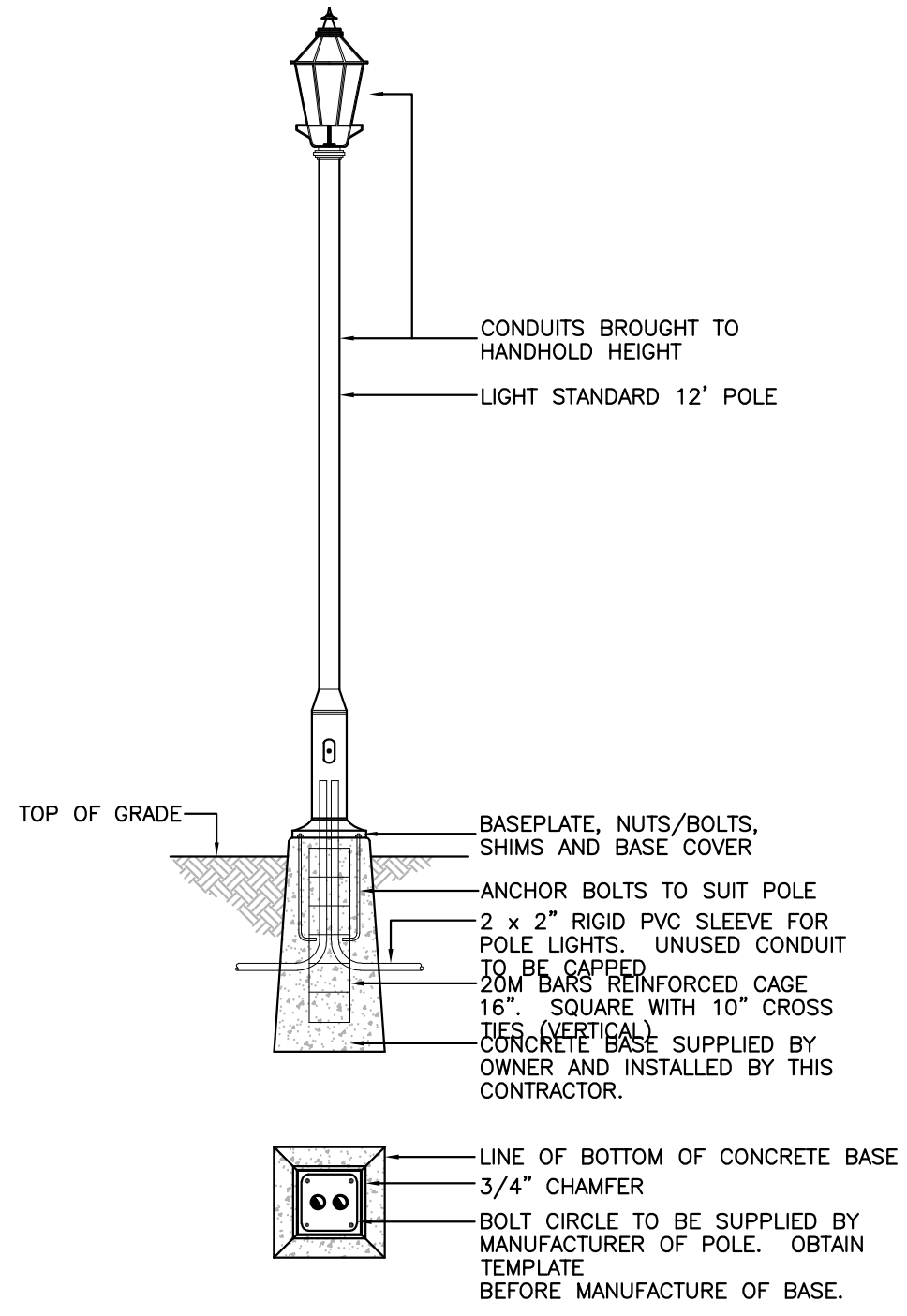
- P1 = 4" RIGID PVC CONDUIT FOR PRIMARY
S = 2" DB2 DUCT TO LOT (POWER)
C = 4" DB2 FOR COMMUNICATIONS
C1 = 2" DB2 DUCT TO LOT (COMMUNICATION)
L = 1" RIGID PVC TO LIGHT

- NOTES:
1. A MINIMUM OF 150mm (6") OF WELL COMPACTED SAND WILL BE INSTALLED ABOVE AND BENEATH CONDUITS OR PRE-DUCTED CABLE.
 2. 50mm (2") OF SAND BETWEEN CONDUITS AND TRENCH WALLS. A MINIMUM OF 300mm (12") SHALL BE KEPT BETWEEN SUMMERSIDE ELECTRIC AND COMMUNICATIONS.
 3. RED MARKER TAPE TO BE INSTALLED 300mm (1ft) BELOW FINAL GRADE.
 4. A FISH LINE OF 3/4" NYLON ROPE OR EQUIVALENT SHALL BE INSTALLED IN EACH CONDUIT AND ROPE SECURED.
 5. A MINIMUM OF 50mm (2in) OF WELL COMPACTED BACKFILL WILL BE PLACED OVER THE SAND TO PROVIDE MINIMUM COVER OF 750mm (2'-6").
 6. TRENCH INDICATES TWO DUCTS FOR COMMUNICATION CABLE. FOR SPEED-TO-PE REQUIREMENT, CONTACT ALIANT AND/OR CATV.
 7. THE NUMBER AND SIZE OF DUCTS MAY VARY. THE MINIMUM CLEARANCES SHOULD BE MAINTAINED.
 8. DUCTS SHALL BE PERMANENTLY IDENTIFIED AT BOTH ENDS IN A METHOD SATISFACTORY TO SUMMERSIDE ELECTRIC.



4 TRENCH DETAILS
E-002 SCALE: NTS

6 LIGHT STANDARD DETAIL (TYP)
E-002 SCALE: NTS



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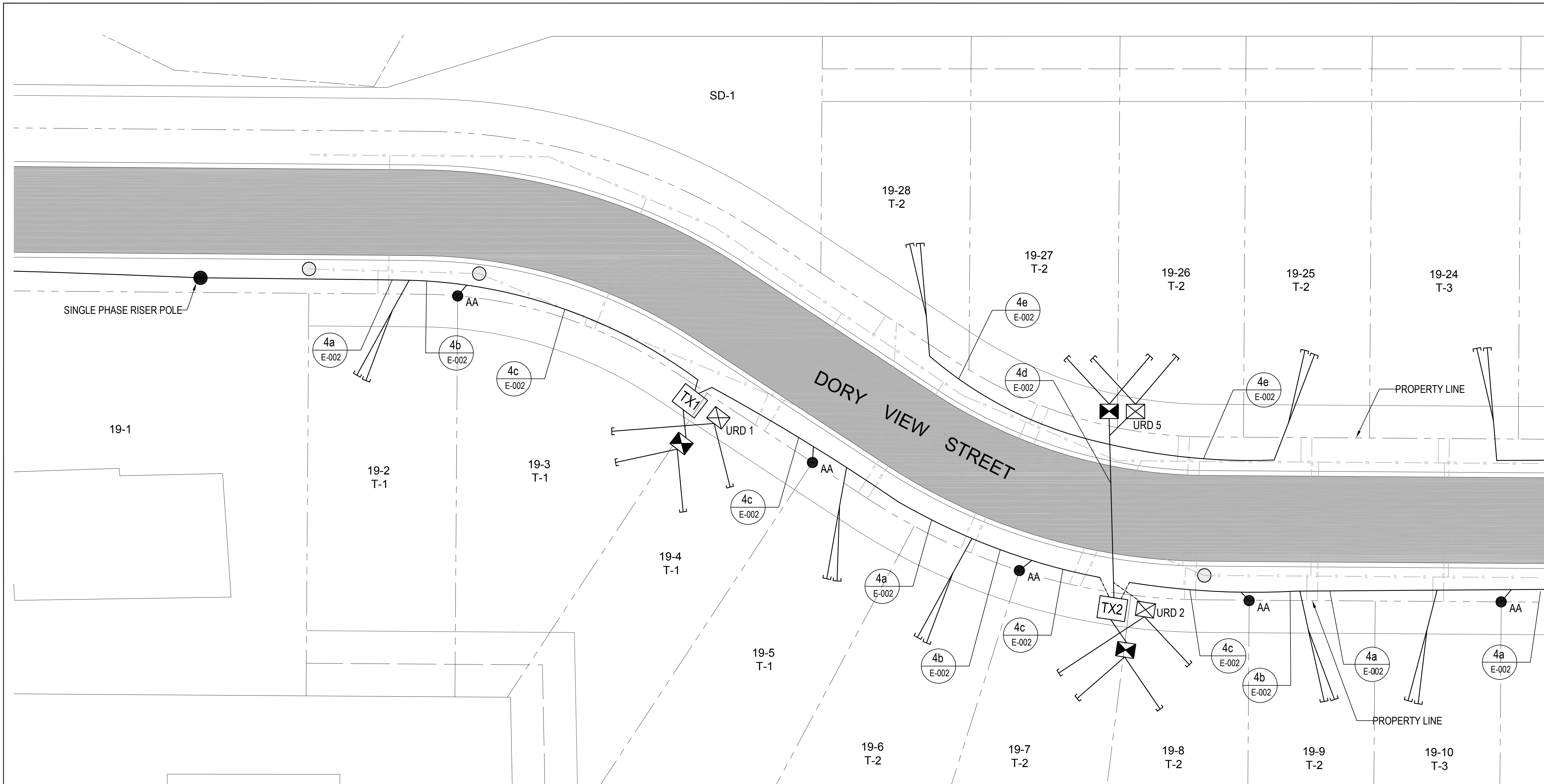
Project Name:

DORY VIEW AT WATERS EDGE
SUMMERSIDE, PE

Drawing Title:

ELECTRICAL DETAILS

Date	MAY 22, 2019	Sheet
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Drawn	SCW	
Engineer	CM	
Project No	2019.023	Rev No. 0



1 ELECTRICAL SITE PLAN - A
E-101 SCALE: 1:200

TRANSFORMER SCHEDULE	
TRANSFORMER	KVA
TX-1	50
TX-2	75
TX-3	75
TX-4	50

LIGHT FIXTURE SCHEDULE							
TAG	DESCRIPTION	SOURCE	VOLTS	WATTS	LUMENS	MANUFACTURER	MODEL #
AA	POLE MOUNTED LED, FIXTURE 3000K, DIE CAST ALUMINUM CONSTRUCTION, COMPLETE WITH ROUND STEEL POLE, BLACK IN COLOR.	LED	120	-	4924	TRADITIONAIRE	1474
		ACCEPTED ALTERNATIVES					
		ACCUTY, CREE, EATON, PHILLIPS					

- SYMBOL LEGEND:
- TX TRANSFORMER PAD
 - SECONDARY ABOVE GRADE PED
 - COMMUNICATION PEDESTAL
 - AA LIGHT STANDARD



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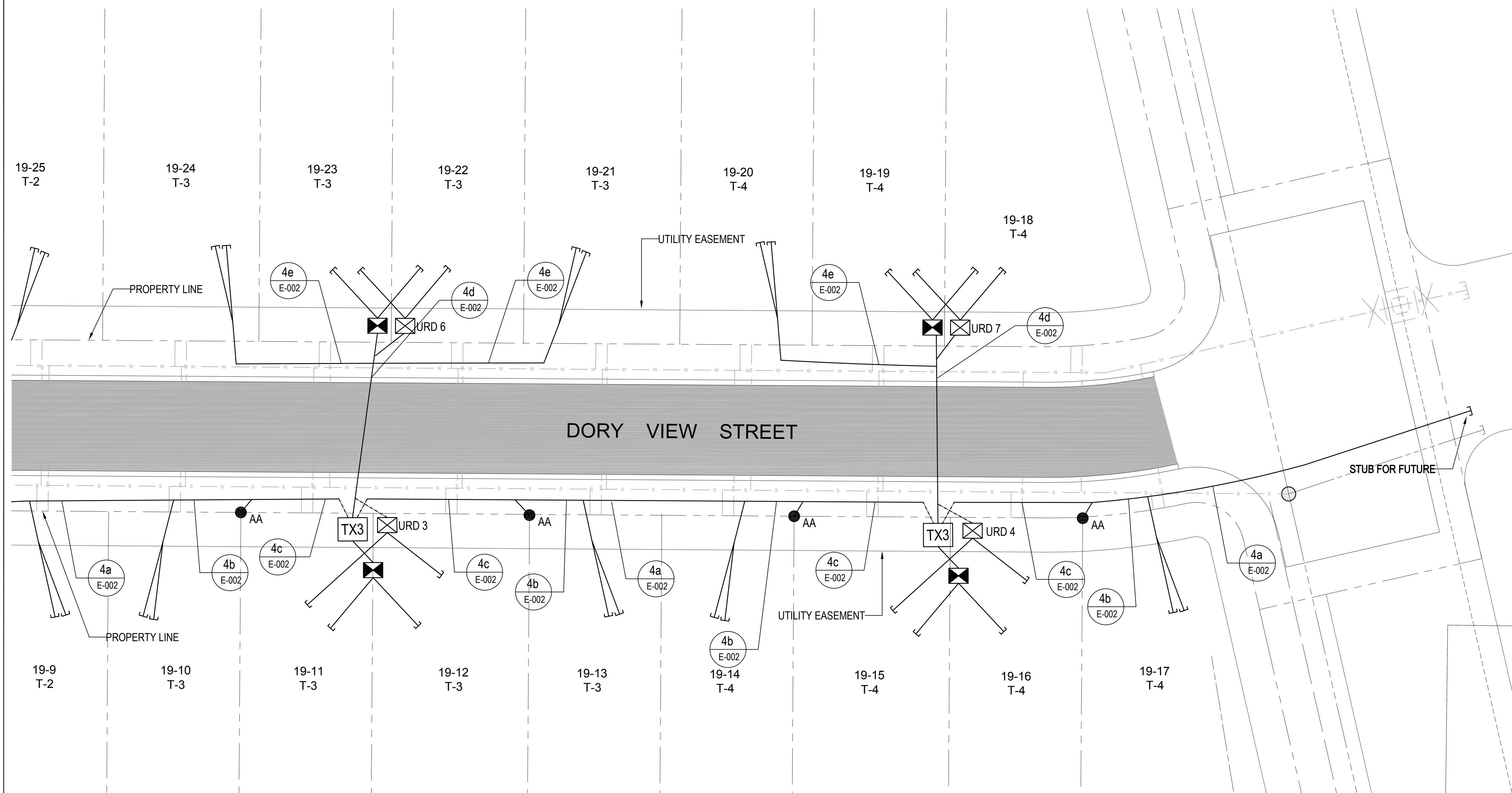
Project Name:

**DORY VIEW AT WATERS EDGE
SUMMERSIDE, PE**

Drawing Title:

ELECTRICAL SITE PLAN

Date	MAY 22, 2019	Sheet
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Engineer	CM	
Project No	2019.023	Rev No. 0



1 ELECTRICAL SITE PLAN - B
E-102 SCALE: 1:200

- SYMBOL LEGEND:
- TX TRANSFORMER PAD
 - SECONDARY ABOVE GRADE PEDIST
 - COMMUNICATION PEDESTAL
 - AA LIGHT STANDARD



DEVELOPER
-

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Project Name:
**DORY VIEW AT WATERS EDGE
SUMMERSIDE, PE**

Drawing Title:
ELECTRICAL SITE PLAN

Date	MAY 22, 2019	Sheet
Scale	1:200	E-102
Drawn	SCW	
Engineer	CM	
Project No	2019.023	
Rev No.	0	

26 05 00 - COMMON WORK RESULTS ELECTRICAL

EXAMINATION OF SITE AND CONDITIONS

1) EXAMINE THE SITE AND LOCAL CONDITIONS AFFECTING THE WORK WITH ALL TENDER DOCUMENTS, TO ENSURE THE WORK CAN BE SATISFACTORILY PERFORMED AS SHOWN. PRIOR TO COMMENCING WORK, EXAMINE THE WORK OF OTHER DIVISIONS AND REPORT AT ONCE ANY DEFECT OR INTERFERENCE AFFECTING THE WORK OF THIS CONTRACTOR. NO ALLOWANCE WILL BE MADE LATER FOR ANY EXPENSES INCURRED THROUGH FAILURE TO MAKE THIS EXAMINATION OR TO REPORT ANY DISCREPANCIES IN WRITING.

2) THIS CONTRACTOR IS TO ATTEND ALL SITE MEETINGS PRIOR TO CLOSE OF TENDER TO CONFIRM SCOPE OF WORK.

BY-LAW AND REGULATIONS

1) CONFORM WITH LATEST RULES, REGULATIONS AND DEFINITIONS OF THE CANADIAN ELECTRICAL CODE, APPLICABLE MUNICIPAL AND PROVINCIAL CODES AND REGULATIONS AND WITH REQUIREMENTS OF OTHER AUTHORITIES HAVING JURISDICTION IN THE AREA WHERE WORK IS TO BE PERFORMED.

2) STANDARDS ESTABLISHED BY DRAWINGS AND SPECIFICATIONS SHALL NOT BE REDUCED BY ANY CODES REFERRED TO ABOVE AND MINOR CHANGES REQUIRED BY AN AUTHORITY HAVING JURISDICTION SHALL BE PERFORMED WITHOUT CHANGE TO THE CONTRACT AMOUNT.

SAFETY REQUIREMENTS

1) CLEAN SITE AT REGULARLY SCHEDULED TIMES. LEAVE WORK CLEAN BEFORE INSPECTION PROCESS COMMENCES.

2) DO NOT LEAVE THE SITE IN DANGEROUS CONDITIONS, UNDER ANY CIRCUMSTANCES, DURING THE PROGRESS OF WORK.

CO-OPERATION AND RESPONSIBILITY

1) INCLUDE FULL RESPONSIBILITY FOR LAYOUT OF ELECTRICAL WORK, FOR DAMAGE CAUSED TO OTHER DIVISIONS OF WORK BY REASON OF IMPROPER LOCATION OR INSTALLATION OF WORK IN ADVANCE OF CONCRETE POURING OR SIMILAR WORK, FOR CONDITIONS OF ALL MATERIAL AND EQUIPMENT SUPPLIED UNDER THIS DIVISION AND FOR PROTECTION AND MAINTENANCE OF WORK COMPLETED AND ACCEPTED UNTIL TERMINATION OF CONTRACT.

2) CO-OPERATE WITH OTHER DIVISIONS TO ENSURE THAT ITEMS INSTALLED UNDER THIS DIVISION ARE LOCATED IN PROPER RELATION WITH BUILDING CONSTRUCTION, ARCHITECTURAL FINISHES AND WITH OTHER EQUIPMENT OR APPARATUS.

GUARANTEE

1) GUARANTEE MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE BY ENGINEER. EXCEPT FOR INCANDESCENT LAMPS WHICH SHALL BE GUARANTEED FOR A PERIOD OF 90 DAYS FROM DATE OF FINAL ACCEPTANCE. ALL DEFECTS SHALL BE CORRECTED AND MADE GOOD DURING THIS PERIOD EXCEPT DEFECTS OCCURRING FROM MISUSE BY OWNER.

PERMITS FEES AND CERTIFICATES

1) FILE CONTRACT DRAWINGS WITH PROPER AUTHORITIES AND OBTAIN APPROVAL OF INSTALLATION AND PERMITS FOR THE WORK. PREPARE AND SUBMIT NECESSARY DETAIL SHOP DRAWINGS AS REQUIRED BY AUTHORITIES.

2) PAY ALL FEES IN CONNECTION WITH EXAMINATION OF DRAWINGS, FOR PERMITS, INSPECTIONS AND FINAL CERTIFICATES OF APPROVAL.

3) SUPPLY NECESSARY CERTIFICATES AS EVIDENCE THAT WORK AS INSTALLED CONFORMS WITH LAWS AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION.

EQUIPMENT SHOP DRAWINGS

1) PREPARE AND SUBMIT A MINIMUM OF SIX SHOP DRAWINGS OF ALL MAJOR ITEMS OF EQUIPMENT PRIOR TO EQUIPMENT FABRICATION, DELIVERY OR INSTALLATION. SHOP DRAWINGS SHALL INDICATE MANUFACTURER, CATALOGUE NUMBER, DIMENSIONS, SPECIAL FEATURES OR FINISHES.

2) SUBMIT SHOP DRAWING WITHIN (7) DAYS OF AWARD OF CONTRACT.

3) THE OWNER RESERVES THE RIGHT TO WAIVE APPROVAL DRAWINGS AND ACCEPT RECORD DRAWINGS, THIS IN NO WAY RELIEVES THE CONTRACTOR FROM SUPPLYING THE SPECIFIC EQUIPMENT.

4) THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL SHOP DRAWINGS FOR ERRORS OR OMISSIONS TO CONFORM WITH ACCURACY REQUIREMENTS OF DIMENSIONS TO CONFORM WITH SITE CONDITIONS AND FOR INFORMATION THAT PERTAINS SOLELY TO EQUIPMENT FABRICATION PROCESSES.

AS BUILT DRAWINGS

1) THE CONTRACTOR SHALL MAINTAIN ON SITE ONE SET OF UP TO DATE AS BUILT DRAWINGS FOR REVIEW AT ALL TIMES. AT THE END OF THIS CONTRACT THE CONTRACTOR SHALL SUPPLY THE OWNER A COMPLETE SET OF AS BUILT DRAWINGS FOR HIS REVIEW AND ACCEPTANCE.

2) PROVIDE THREE (3) OPERATIONS AND MAINTENANCE MANUALS IN 3 POST BACK BINDER AT COMPLETION OF THE PROJECT. MANUALS SHALL CONTAIN A LIST OF SUPPLIERS INCLUDING TELEPHONE NUMBERS, SHOP DRAWINGS, FINAL ELECTRICAL INSPECTION CERTIFICATE, FIRE ALARM VERIFICATION, RECORD DRAWINGS, AND TEST REPORTS. EACH SECTION SHALL BE SEPARATELY TABBED. EACH PIECE OF EQUIPMENT REQUIRING ADJUSTMENT OR REGULAR MAINTENANCE SHALL HAVE CLEAR INSTRUCTIONS TO HOSE REQUIREMENTS.

COMPLETION

1) LEAVE ALL NEW AND RELOCATED EQUIPMENT CLEAN, FREE OF CONSTRUCTION DEBRIS AND OTHER FOREIGN MATTER. REMOVE ANY TEMPORARY OR PROTECTIVE COATINGS.

2) UPON COMPLETION OF THE WORK THE CONTRACTOR SHALL PROVIDE IN A TIMELY FASHION *AS BUILT* DRAWINGS, LETTER OF WARRANTY, OWNERS MANUAL AND WORKERS COMPENSATION CLEARANCE CERTIFICATE.

EQUIPMENT LOCATIONS

1) THE RIGHT IS RESERVED TO ALTER THE LOCATION OF EQUIPMENT AND OUTLETS AT DISTANCE OF UP TO TEN FEET (3 METERS) WITHOUT INVOLVING A CHANGE TO THE CONTRACT AMOUNT, PROVIDED NOTICE IS GIVEN PRIOR TO INSTALLATION OF SAME.

CONTRACT DRAWINGS

1) THESE DRAWINGS ARE INTENDED TO SERVE AS A GUIDE SHOWING QUANTITIES AND GENERAL ARRANGEMENTS AND ARE NOT NECESSARILY WORKING DRAWINGS FROM WHICH MEASUREMENTS CAN BE TAKEN, EXCEPT WHERE DIMENSION FIGURES ARE SPECIFICALLY SHOWN. INFORMATION INVOLVING ACCURATE MEASUREMENTS OF BUILDING SHALL BE TAKEN FROM BUILDING DRAWING OR FROM THE SITE.

MATERIAL

1) MATERIALS SUPPLIED BY THIS CONTRACTOR SHALL BE NEW, OF CANADIAN MANUFACTURE WHERE AVAILABLE AND OF FIRST QUALITY AND UNIFORM THROUGHOUT.

2) ALL ELECTRICAL MATERIALS SHALL BE CSA APPROVED AND LABELED AND ALL MATERIALS NOT APPROVED SHALL RECEIVE ACCEPTANCE FOR INSTALLATION BY SPECIAL APPLICATION TO CSA. MATERIAL SHALL NOT BE INSTALLED OR CONNECTED TO A SOURCE OF ELECTRICAL POWER UNTIL APPROVAL IS OBTAINED.

RETURN OF DRAWINGS

1) AT THE COMPLETION OF THE JOB, ALL DRAWINGS SHALL BE RETURNED, REGARDLESS OF THEIR CONDITION.

PLANS FOR RECORDING CHANGES

1) OBTAIN ONE SET OF WHITE PRINTS AND RECORD ON ANY ALTERATIONS OF THE ROUTING OF CONDUIT, WIRING AND ETC., OR SHOW ON THE CONTRACT DRAWINGS. THESE DRAWINGS TO BE KEPT UP TO DATE AND TURNED OVER AT THE COMPLETION OF THE PROJECT.

CLEANING UP

1) ALL REFUSE AND DEBRIS CAUSED BY THIS CONTRACTOR SHALL BE REMOVED FROM THE SITE AT FREQUENT INTERVALS. BEFORE THE WORK IS FINALLY ACCEPTED BY THE OWNER, THIS CONTRACTOR SHALL THOROUGHLY CLEAN ALL EQUIPMENT, APPARATUS AND FIXTURES AND LEAVE THEM IN PERFECT NEW CONDITION.

INSTRUCTIONS TO OPERATORS

1) INSTRUCT THE OWNER'S OPERATOR IN THE CARE AND MAINTENANCE AND OPERATION OF ALL ELECTRICAL SYSTEMS AND EQUIPMENT INSTALLED UNDER THE SPECIFICATION.

2) PREPARE THREE COPIES OF OPERATIONS AND MAINTENANCE INSTRUCTIONS, SHOP DRAWINGS, WIRING DIAGRAMS, DESCRIPTIVE LITERATURE FOR EACH ITEM OF EQUIPMENT SUPPLIED. COMBINE THESE TOGETHER IN LOOSE LEAF BINDERS.

3) THESE LOOSE LEAF BINDERS SHALL BE PRESENTED UPON COMPLETION OF THE PROJECT.

INSPECTIONS AND TESTING

1) ALL WORK SHALL BE LEFT OPEN FOR INSPECTION SO THAT INSPECTION MAY BE MADE BEFORE THE WORK IS COVERED.

UTILITY SERVICES

1) THIS CONTRACTOR IS FINANCIALLY RESPONSIBLE TO PROVIDE COMPLETE ELECTRICAL, TELEPHONE AND COMPUTER SYSTEMS. THIS CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH AND PAY FOR ALL UTILITY FEES.

26 05 20 - WIRE AND BOX CONNECTORS

PRODUCTS

- ALL CONNECTIONS SHALL BE MADE ELECTRICALLY AND MECHANICALLY SECURE. SIZES OF CONNECTORS SHALL BE ACCORDING TO MANUFACTURER'S RECOMMENDATIONS FOR EACH SIZE AND COMBINATION OF WIRES.
- JOINTS REQUIRED IN BRANCH WIRING #10 AWG AND SMALLER SHALL BE MADE USING FIXTURE TWIST-ON TYPE CONNECTORS WITH CURRENT CARRYING PARTS MADE OF COPPER.
 - STANDARD OF ACCEPTANCE: MARRETTE #31, #33 OR #35 AS REQUIRED.
- JOINTS FOR WIRING #8 AWG AND LARGER SHALL BE MADE USING PRESSURE TYPE COLOUR KEYED COMPRESSION CONNECTORS WITH CURRENT CARRYING PARTS MADE OF COPPER USING COMPRESSION TOOLS. A FIRST LAYER OF TAPE SHALL BE COMPOUND TYPE FOLLOWED BY A LAYER OF SCOTCH #3 VINYL TYPE.
 - STANDARD OF ACCEPTANCE: 54000 SERIES.
- BUSHING STUD CONNECTORS: AS REQUIRED TO SUIT CONDUCTORS
- CLAMPS OR CONNECTORS FOR ARMoured CABLE AND FLEXIBLE CONDUIT AS REQUIRE

EXECUTION

- REMOVE INSULATION CAREFULLY FROM ENDS OF CONDUCTORS AND:
 - INSTALL MECHANICAL PRESSURE TYPE CONNECTORS AND TIGHTEN SCREWS WITH APPROPRIATE COMPRESSION TOOL RECOMMENDED BY MANUFACTURER. INSTALLATION SHALL MEET SECURENESS TESTS IN ACCORDANCE WITH CSA C22.2 NO. 65.
 - INSTALL FIXTURE TYPE CONNECTORS AND TIGHTEN. REPLACE INSULATING CAP.
- ALL CONNECTIONS SHALL BE MADE ELECTRICALLY AND MECHANICALLY SECURE. SIZES OF CONNECTORS SHALL BE ACCORDING TO MANUFACTURER'S RECOMMENDATIONS FOR EACH WIRE SIZE AND COMBINATION OF WIRES. TWIST WIRES TOGETHER BEFORE INSTALLING CONNECTORS. ALL STRANDED CONDUCTORS SHALL BE TWISTED TOGETHER PRIOR TO CONNECTION AROUND TERMINAL.

26 05 21 - WIRE AND CABLES (0-1000V)

PRODUCTS

- BUILDING WIRES
CONDUCTORS: COPPER, SOFT DRAWN STRANDED, AT LEAST 98% CONDUCTIVITY FOR #10 AWG AND LARGER. INSULATION SHALL BE CHEMICALLY CROSS-LINKED THERMOSETTING POLYETHYLENE RATED 600 VOLTS ON ALL RW90 CONDUCTORS AND 1000 VOLTS FOR RWU-90 FOR INCOMING SERVICE. SIZE AS INDICATED ON DRAWINGS AND SCHEDULES. CONDUCTOR INSULATION SHALL BE COLOUR CODED AS FOLLOWS:

PHASE A	-	RED
PHASE B	-	BLACK
PHASE C	-	BLUE
NEUTRAL	-	WHITE
GROUND	-	GREEN
ISOLATED POWER	-	AS INDICATED HEREAFTER

WHERE EXTRA COLORS ARE REQUIRED FOR THREE-WAY SWITCHES, ETC, THEY SHALL BE YELLOW.

APPROVED COLOR CODED TAPE IS ACCEPTABLE FOR COLOR CODING PHASE CONDUCTORS #1 AWG AND LARGER AND FOR NEUTRAL AND GROUND CONDUCTORS #40 AND LARGER.

EXECUTION

2. FIELD QUALITY CONTROL

- PERFORM TESTS IN ACCORDANCE WITH SECTION 26 05 00 - COMMON WORK RESULTS FOR ELECTRICAL.
- PERFORM TESTS USING METHOD APPROPRIATE TO SITE CONDITIONS AND TO APPROVAL OF OWNER'S REPRESENTATIVE AND LOCAL AUTHORITY HAVING JURISDICTION OVER INSTALLATION.
- PERFORM TESTS BEFORE ENERGIZING ELECTRICAL SYSTEM.

26 05 34 - CONDUITS, CONDUIT FASTENINGS, AND CONDUIT FITTINGS

PRODUCTS

- CONDUITS
 - RIGID PVC CONDUIT: TO CSA C22.2 NO. 211.2.
- CONDUIT FITTINGS
 - FITTINGS: MANUFACTURED FOR USE WITH CONDUIT SPECIFIED. COATING: SAME AS CONDUIT.
 - FACTORY "ELLS" WHERE 900, 45 O OR 22.5 O BENDS ARE REQUIRED FOR 25 MM AND LARGER CONDUITS.
 - ENSURE CONDUIT BENDS OTHER THAN FACTORY "ELLS" ARE MADE WITH AN APPROVED BENDER. MAKING OFFSETS AND OTHER BENDS BY CUTTING AND REJOINING 90 DEGREE BENDS ARE NOT PERMITTED.
- EXPANSION FITTINGS FOR RIGID CONDUIT
 - WEATHERPROOF EXPANSION FITTINGS WITH INTERNAL BONDING ASSEMBLY SUITABLE FOR 100 MM LINEAR EXPANSION.
 - WATERTIGHT EXPANSION FITTINGS WITH INTEGRAL BONDING JUMPER SUITABLE FOR LINEAR EXPANSION AND 19 MM DEFLECTION IN ALL DIRECTIONS.
 - WEATHERPROOF EXPANSION FITTINGS FOR LINEAR EXPANSION AT ENTRY TO PANEL.
- FISH CORD
 - POLYPROPYLENE

EXECUTION

- MANUFACTURERS INSTRUCTIONS
 - COMPLIANCE: COMPLY WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS OR SPECIFICATIONS, INCLUDING PRODUCT TECHNICAL BULLETINS, HANDLING, STORAGE AND INSTALLATION INSTRUCTIONS, AND DATASHEETS.
- INSTALLATION
 - INSTALL ALL CONDUIT, CONDUIT FITTINGS AND ACCESSORIES IN ACCORDANCE WITH THE LATEST EDITION OF THE CANADIAN ELECTRICAL CODE IN A MANNER THAT DOES NOT ALTER, CHANGE OR VIOLATE ANY PART OF THE INSTALLED SYSTEM COMPONENTS OR THE CSA/UL CERTIFICATION OF THESE COMPONENTS.
 - USE RIGID PVC CONDUIT UNDERGROUND AND BURIED IN OR UNDER CONCRETE SLAB ON GRADE.
- CONDUITS UNDERGROUND
 - SLOPE CONDUITS TO PROVIDE DRAINAGE.
 - WATERPROOF JOINTS (PVC EXCEPTED) WITH HEAVY COAT OF BITUMINOUS PAINT
- CLEANING
 - PROCEED IN ACCORDANCE WITH SECTION 01 74 11 - CLEANING.
 - ON COMPLETION AND VERIFICATION OF PERFORMANCE OF INSTALLATION, REMOVE SURPLUS MATERIALS, EXCESS MATERIALS RUBBISH, TOOLS AND EQUIPMENT.

26 05 43 - INSTALLATION OF CABLES IN DUCTS

EXECUTION

- CABLE INSTALLATION IN DUCTS
 - INSTALL CABLES AS INDICATED, IN DUCTS.
 - DO NOT PULL SPLICED CABLES INSIDE DUCTS.
 - INSTALL MULTIPLE CABLES IN DUCT SIMULTANEOUSLY.
 - USE CSA APPROVED LUBRICANTS OF TYPE COMPATIBLE WITH CABLE JACKET TO REDUCE PULLING TENSION.
 - TO FACILITATE MATCHING OF COLOUR CODED MULTI CONDUCTOR CONTROL CABLES REEL OFF IN SAME DIRECTION DURING INSTALLATION.
 - BEFORE PULLING CABLE INTO DUCTS AND UNTIL CABLES ARE PROPERLY TERMINATED SEAL ENDS OF NON-LEADED CABLES WITH MOISTURE SEAL TAPE.
 - AFTER INSTALLATION OF CABLES, SEAL DUCT ENDS WITH DUCT SEALING COMPOUND.
- TESTING
 - PERFORM TESTS IN ACCORDANCE WITH SECTION 26.
 - PERFORM TESTS USING QUALIFIED PERSONNEL. PROVIDE NECESSARY INSTRUMENTS AND EQUIPMENT.

- CHECK PHASE ROTATION AND IDENTIFY EACH PHASE CONDUCTOR OF EACH FEEDER.
- CHECK EACH FEEDER FOR CONTINUITY, SHORT CIRCUITS AND GROUNDS. ENSURE RESISTANCE TO GROUND OF CIRCUITS IS NOT LESS THAN 50 MEGOHMS.
- PRE-ACCEPTANCE TESTS.
 - AFTER INSTALLING CABLE BUT BEFORE SPLICING AND TERMINATING, PERFORM INSULATION RESISTANCE TEST WITH 600 V MEGGER ON EACH PHASE CONDUCTOR.
 - CHECK INSULATION RESISTANCE AFTER EACH SPLICE AND/OR TERMINATION TO ENSURE THAT CABLE SYSTEM IS READY FOR ACCEPTANCE TESTING.
- ACCEPTANCE TESTS
 - ENSURE THAT TERMINATIONS AND ACCESSORY EQUIPMENT ARE DISCONNECTED.
 - GROUND SHIELDS, GROUND WIRES, METALLIC ARMOUR AND CONDUCTORS NOT UNDER TEST.
 - PROVIDE ARCHITECT AND/OR ENGINEER WITH LIST OF TEST RESULTS SHOWING LOCATION AT WHICH EACH TEST WAS MADE, CIRCUIT TESTED AND RESULT OF EACH TEST.
 - REMOVE AND REPLACE ENTIRE LENGTH OF CABLE IF CABLE FAILS TO MEET ANY OF THE TEST CRITERIA.
 - FAILURE TO PROVIDE TEST RESULTS WILL DELAY PROGRESS BILLING.

26 05 44 - DIRECT BURIED UNDERGROUND CABLES

PRODUCTS

- PVC DUCTS
 - RIGID PVC CONDUITS: SIZE AS INDICATED, NOMINAL LENGTH OF 3 METRES.
 - RIGID PVC COUPLINGS, REDUCERS, BELL END FITTINGS, PLUGS, CAPS, ADAPTORS AS REQUIRED TO MAKE COMPLETE INSTALLATION.
 - RIGID PVC 90 AND 45 BENDS AS REQUIRED.
 - RIGID PVC 5 ANGLE COUPLINGS AS REQUIRED.
 - EXPANSION JOINTS AS REQUIRED.
- SOLVENT
 - SOLVENT WELD COMPOUND FOR PVC DUCT JOINTS
- CABLE PULLING EQUIPMENT
 - 6.5mm STRANDED NYLON PULL ROPE TENSILE 5kN.
- MARKING TAPE
 - 150mm WIDE, RED, POLYETHYLENE MARKED "BURIED ELECTRIC LINE"
 - STANDARD OF ACCEPTANCE: THOMAS AND BETTS NA TYPE.
- MANUFACTURERS
 - STANDARD OF ACCEPTANCE: SCEPTER
 - OTHER APPROVED MANUFACTURER: CANON

EXECUTION

- INSTALLATION
 - INSTALL PVC DUCT AS INDICATED AND IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
 - EXCAVATION, TUNNELING, AND BACKFILLING TO THE REQUIREMENTS OF SECTION 02223.
 - CLEAN INSIDE OF DUCTS BEFORE LAYING.
 - ENSURE FULL, EVEN SUPPORT EVERY 1500MM THROUGHOUT DUCT LENGTH.
 - SLOPE DUCTS AWAY FROM BUILDING AND POLE WITH 1 TO 400 MINIMUM SLOPE. PUNCH A SMALL HOLE IN BOTTOM OF DUCTS AT LOW POINT.
 - PROVIDE SLEEVE FOR DUCTS PASSING THROUGH FOOTINGS.
 - DURING CONSTRUCTION, CAP ENDS OF DUCTS TO PREVENT ENTRANCE OF FOREIGN MATERIALS.
 - PULL THROUGH EACH DUCT A STEEL MANDREL NOT LESS THAN 300MM LONG AND OF A DIAMETER 65MM LESS THAN INTERNAL DIAMETER OF DUCT, FOLLOWED BY STIFF BRISTLE BRUSH TO REMOVE SAND, EARTH AND OTHER FOREIGN MATTER. PULL STIFF BRISTLE BRUSH THROUGH EACH DUCT IMMEDIATELY BEFORE PULLING-IN CABLES.
 - IN EACH DUCT INSTALL PULL ROPE CONTINUOUS THROUGHOUT EACH DUCT RUN WITH 3 METRES OF SPARE ROPE AT EACH END.
 - INSTALL MARKING TAPE 150MM BELOW FINISHED GRADE ALONG THE COMPLETE LENGTH OF BURIED DUCT AS INDICATED.



DEVELOPER

ENGINEER

**HARLAND
ENGINEERING
SERVICES INC.**
ENGINEERS • PROJECT MANAGERS

P.O. Box 1653
Charlottetown, PE
C1A 7M4
Tel: 902.395.3365
Fax: 902.626.3412

Project Name:

**DORY VIEW AT WATERS EDGE
SUMMERSIDE, PE**

Drawing Title:

ELECTRICAL SITE PLAN

Date	MAY 22, 2019	E-201
Scale	AS NOTED	
Drawn	SCW	
Engineer	CM	
Project No	2019.023	
		Sheet Rev No. 0

Linda Stevenson

From: Linda Stevenson
Sent: Monday, September 8, 2025 2:39 PM
To: Jamie Rodgerson
Cc: Aaron MacDonald; JP Desrosiers; Megan Williams
Subject: 185 Pope Road Official Plan and Zoning Amendments
Attachments: City decision to applicant 185 Pope Road.pdf

Good Afternoon Jamie

Please find the attached City decision letter regarding your application to amend the City Official Plan and Zoning Bylaw for 185 Pope Road. The original copy of the letter will be mailed to you via Canada Post.

Should you have any questions, please reach out to myself or Megan.

Regards,
Linda

Linda Stevenson
Development Officer, City of Summerside
275 Fitzroy Street
Summerside, PE C1N 1H9
Phone: 902-432-1270

City decision to applicant 185 Pope Road.pdf



September 8, 2025

Harcor Holdings Inc.
Jamie Rogerson
106 Hallie Drive
Summerside, PE C1N 5H3

Re: Official Plan & Zoning Amendments – 185 Pope Road

Please be advised that City Council at its meeting on September 2, 2025 denied your application to amend the Official Plan and Zoning Bylaw for PID #548610 located at 185 Pope Road.

The following amendments were denied:

Proposed amendment to the Official Plan:

- Change the land use map (Schedule B) from Industrial land use to Comprehensive Development Area land use.

Proposed amendment to the Zoning Bylaw:

- Change the zoning bylaw (by inserting Section 21) and the zoning map (Schedule B) from Light Industrial (M1) zone to Comprehensive Development Area (CDA) zone.

Please note that anyone who is dissatisfied with the decision to grant approval, may within 21 days of the approval date, appeal to the Island Regulatory & Appeals Commission. The City is not liable for any damage suffered by any person resulting from development undertaken during the appeal period or while a decision is under appeal.

If you have any questions, please contact the undersigned at 902-432-1270.

Yours truly,

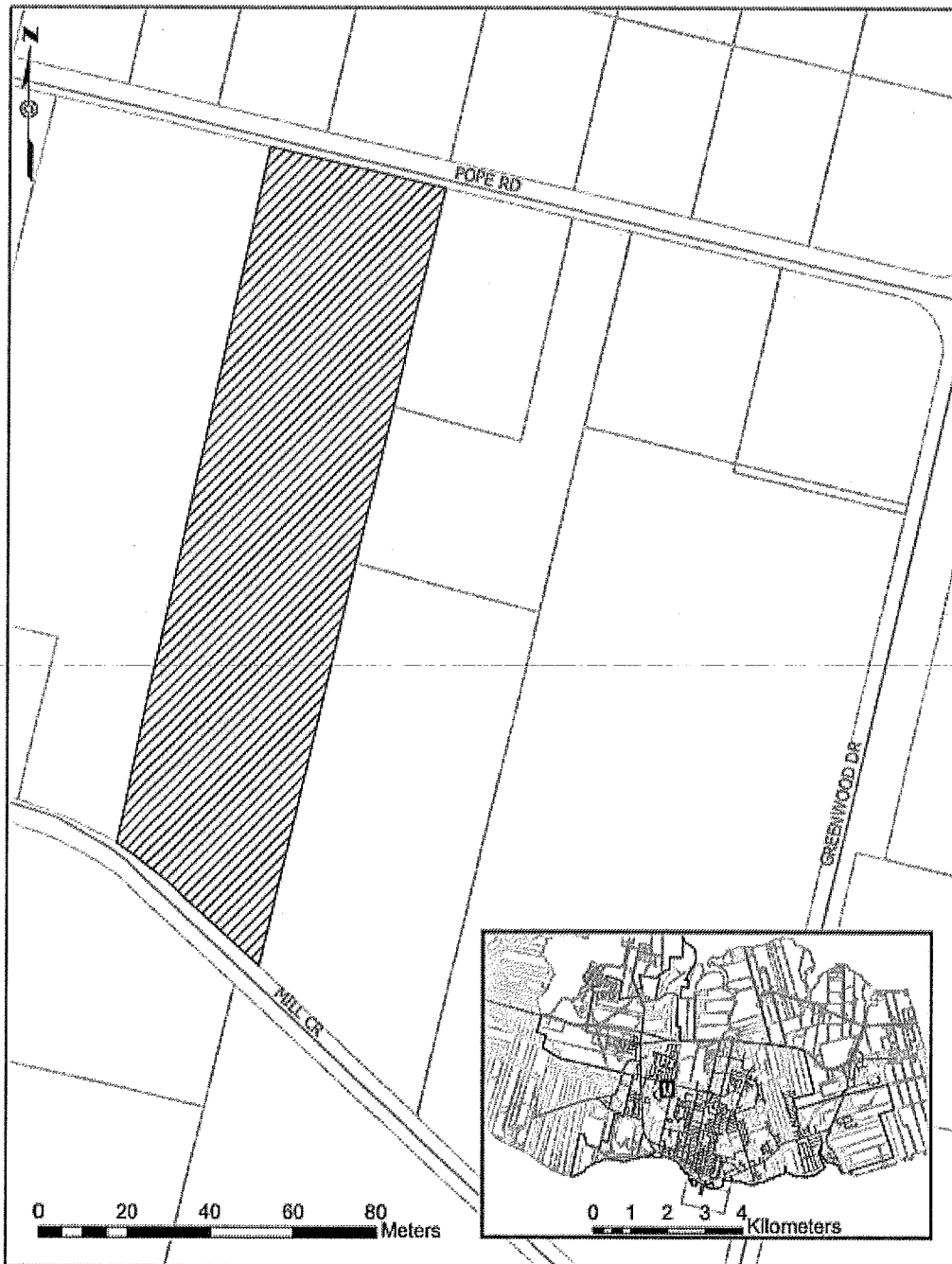
Linda Stevenson
Development Officer

c. JP Desrosiers, Acting CAO
Aaron MacDonald, DTS

OFFICIAL AMENDMENT 0111 & ZONING AMENDMENT 0112

The Council of the City of Summerside under authority vested in it by Section 18 of the *Planning Act R.S.P.E.I. 1988 Cap. P-8* hereby enacts as follows:

- I. The land use for PID #548610 (185 Pope Road) as shown on Schedule B (Future Land Use Map) of the *City of Summerside Official Plan*, is designated as Comprehensive Development Area land use, hereby excluding it from its former designation of Industrial land use under the *City of Summerside Official Plan*;
- II. The zoning amendments for PID #548610 (185 Pope Road), inserting Section 21. (Residential Cluster Housing) and zoning map as shown on Schedule B (Zoning Map) of the *City of Summerside Zoning Bylaw*, is designated as Comprehensive Development Area (CDA) zone, hereby excluding it from its former designation of Light Industrial (M1) zone.



Cluster Residential District – 185 Pope Road

21. All permitted use developments within the Cluster Residential District – 185 Pope Road shall be subject to approval by the Development Officer while discretionary uses shall be referred to Council for a decision.
21. Application for all developments in the Cluster Residential District – 185 Pope Road shall be reviewed in accordance with the guidelines and standards in Section 5 of this Bylaw and *Summerside Official Plan 2018; Building Bylaw CS-31; and Subdivision & Site Development Bylaw SS-19.*

Definitions

21. Dwelling, Cluster Residential means a group of four (4) or more single-detached residential buildings located on a single lot.

Permitted Uses

21. Subject to bylaw requirements, the following uses shall be permitted:

Permitted Uses		
RESIDENTIAL		
accessory building	dwelling, cluster residential	

Conditional Uses

21. Subject to Development Officer approval:

Conditional Uses		
RESIDENTIAL		
home based business		

Development Standards

21. Development of 185 Pope Road shall conform with the following standards, where the front yard abuts Pope Road and the rear yard abuts Mill Crescent:

Cluster Residential District		Min. Front yard	Min. Side yards	Min. Rear yard	Max. height	Min. Distance between buildings
single detached dwelling (group)	m	6	2	6	4.6	4
	ft	19.7	6.6	19.7	15	13.12

Servicing Standards

21.

- a) each dwelling shall front onto a paved service road connecting to a street R.O.W.;
- b) all service roads shall be a one-way with a minimum of 3.6 m (11.8 ft) for the driving lane;
- c) each dwelling shall have service connections to water and sewer laterals serving the lot, but no dwelling shall be sited over such a lateral;
- d) a Drainage Plan the considers the development of the entire lot is required as part of the permit application.

General Standards

21. One (1) parking space shall be provided per dwelling unit.

21. All portions of the lot not covered by structures, parking or traffic circulation areas shall be landscaped.

21. Notwithstanding Section 8.9, more than one main building is permitted on a lot within this CDA – Cluster Residential District – 185 Pope Road.



Map 21. Cluster Residential District – 185 Pope Road

From: [Megan Williams](#)
Sent: September 23, 2025 3:39:02 PM
To: [Jamie Rodgerson](#)
Cc: [Linda Stevenson](#)
Subject: 185 Pope Road
Sensitivity: Normal

Afternoon Jamie!

So with a denied application you have a couple of options:

- Wait 12 months to reapply
- Significantly change your proposal
- Appeal the decision (You've 21 days to do this, today's the last day so if you want to go this route you'll need to get your application into [IRAC ASAP](#))

Section 5.8 (c) has a bit more information on the 'significant change' to proposal:

c. Should a development application be denied, a similar application shall not be considered within 12 months of the initial application being denied, except when the Development Officer considers it justified because of valid new evidence or a change in conditions, or as the result of an appeal or review procedure allowed under this Bylaw.

(where a development application includes a rezoning).

I looked into restricted use and it wouldn't be appropriate for the proposed development; it's applied to uses that would be permitted in another land use zone, where multiple main buildings aren't permitted anywhere, it wouldn't be an appropriate route.

That's it in a nutshell! Let me know if you have questions, or want to discuss the route you'd like to take.

Megan Williams, RPP, MCIP
Planning Officer

City of Summerside
275 Fitzroy Street
Summerside, PE C1N 1H9

Direct Line: 902-432-1260
Fax: 902-436-3191
Email: megan.williams@summerside.ca
Website: www.summerside.ca

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2. An email with verification code will be sent to you.
3. Copy the code and return to the attachment recovery page.
4. The email with original attachments will be released to your mailbox.

Please exercise discretion when requesting to release suspicious attachments.

From: [Michelle Walsh-Doucette](#)

Sent: September 26, 2025 8:34:35 AM

To: 'Jamie Rodgerson'; [Linda Stevenson](#)

Cc: [Jessica Gillis](#); [Philip Rafuse](#)

Subject: LA25015 Jamie Rodgerson v City of Summerside

Sensitivity: Normal

Attachments:

[2025 09 26 Letter to Parties.cleaned.pdf](#); [2025 09 23 Notice of Appeal LA25015.pdf](#);

You don't often get email from mwalshdoucette@irac.pe.ca. [Learn why this is important](#)

Good morning,

Please see attached correspondence.

M



Michelle Walsh-Doucette (she/her)

Commission Clerk

D. 902.368.7856

irac.pe.ca/about/contact/

This electronic transmission, including any accompanying attachments, may contain information that is confidential, privileged and/or exempt from disclosure under applicable law, and is intended only for the recipient(s) named above. Disclosure to anyone other than the intended recipient does not constitute waiver of privilege.

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PRINCE EDWARD ISLAND
Regulatory & Appeals Commission
Commission de réglementation et d'appels
ILE-DU-PRINCE-ÉDOUARD

September 26, 2025

VIA EMAIL

rodgersonconstruction@gmail.com

Jamie Rodgerson
106 Hallie Drive
Summerside, PE
Appellant

linda@summerside.ca

Attention: Linda Stevenson
City of Summerside
275 Fitzroy Street
Summerside, PE C1N 5H3
Respondent

RE: Appeal #LA25015 – Jamie Rodgerson v. City of Summerside

The Prince Edward Island Regulatory and Appeals Commission has received a Notice of Appeal from Jamie Rodgerson, against the September 8, 2025 decision of the [City of Summerside](#) to deny an application to amend the Official Plan and Zoning Bylaw for PID 548610 located at 185 Pope Road, Summerside, PE. A copy of the Notice of Appeal is attached. All parties involved will receive copies of submissions made by another party.

Information for the Appellant

The Commission has requested a copy of the file material from City of Summerside. A copy of the written material relevant to this appeal will be forwarded to you in a timely manner.

Information for the Respondent

Please forward a copy of all information in your file with respect to the above-noted decision to the Commission by Thursday, October 23, 2025. This information will be added to the Commission's file and will be distributed to the Appellant. On the same date, please file a written response to the Notice of Appeal. The City of Summerside may raise issues involving jurisdiction or preliminary matters in addition to a clear, but brief, response to the appeal.

IMPORTANT NOTE: Any questions or concerns can be directed to Michelle Walsh-Doucette by telephone at 902-892-3501 or email at mwalshdoucette@irac.pe.ca.

Michelle Walsh-Doucette
Commission Clerk
Enclosure

RECEIVED: September 23, 2025

Notice of Appeal

(Pursuant to Section 28 of the *Planning Act*)

TO: The Island Regulatory and Appeals Commission
 National Bank Tower, Suite 501, 134 Kent Street
 P.O. Box 577, Charlottetown PE C1A 7L1
 Telephone: 902-892-3501 Toll free: 1-800-501-6268
 Fax: 902-566-4076 Website: www.irac.pe.ca

NOTE:
 Appeal process is a public process.

TAKE NOTICE that I/we hereby appeal the decision made by the Minister responsible for the administration of various development regulations of the **Planning Act** or the Municipal Council of SUMMERSEIDE (name of City, Town or Community) on the SECOND day of SEPTEMBER, 2025, wherein the Minister/Community Council made a decision to DENY A LAND ZONING APPLICATION IN WHICH SEEN NO NEGATIVE IMPACT FROM PLANNING BOARD OR TECHNICAL SERVICES. (attach a copy of the decision).

AND FURTHER TAKE NOTICE that, in accordance with the provisions of Section 28.(5) of the *Planning Act*, the grounds for this appeal are as follows: (use separate page(s) if necessary)
THERE WAS VERY LITTLE INFORMATION OR REASON AS TO WHY THE COUNCIL HAD VOTED AGAINST SUCH ZONING. THERE WERE QUESTIONS ABOUT ASPECTS OF GARBAGE DISPOSAL WHICH WOULD HAVE LATER BEEN ADDRESSED DURING THE DEVELOPMENT PLAN STAGES & SOME WHICH HAD ALREADY BEEN ADDRESSED WITH DEPARTMENT HEADS.

AND FURTHER TAKE NOTICE that, in accordance with the provisions of Section 28.(5) of the *Planning Act*, I/we seek the following relief: (use separate page(s) if necessary)
I WOULD LIKE THIS TO BE REVIEWED AND ULTIMATELY ZONED TO CDA USE FOR A SPECIALIZED AFFORDABLE HOUSING DEVELOPMENT.

EACH APPELLANT MUST COMPLETE THE FOLLOWING: (print separate sheets as necessary)

Name(s) of Appellant(s): JAMIE RODGERSON
 Please Print

Signature(s) of Appellant(s): [Signature]

Mailing Address: 169 POPE RD.
PE

City/Town: SUMMERSEIDE
 Postal Code: C1N 5L6

Email Address: rodgersonconstruction@gmail.com Telephone: 902-315-4422

Dated this 23rd day of SEPTEMBER, 2025.
 day month year

IMPORTANT

Under Section 28.(6) of the *Planning Act*, the Appellant must, within seven days of filing an appeal with the Commission serve a copy of the notice of appeal on the municipal council or the Minister as the case may be.

Service of the Notice of Appeal is the responsibility of the Appellant

Information on this Form is collected pursuant to the *Planning Act* and will be used by the Commission in processing this appeal. For additional information, contact the Commission at 902-892-3501 or by email at info@irac.pe.ca.



September 8, 2025

Harcor Holdings Inc.
Jamie Rogerson
106 Hallie Drive
Summerside, PE C1N 5H3

Re: Official Plan & Zoning Amendments – 185 Pope Road

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If you have any questions, please contact the undersigned at 902-432-1270.

Yours truly,

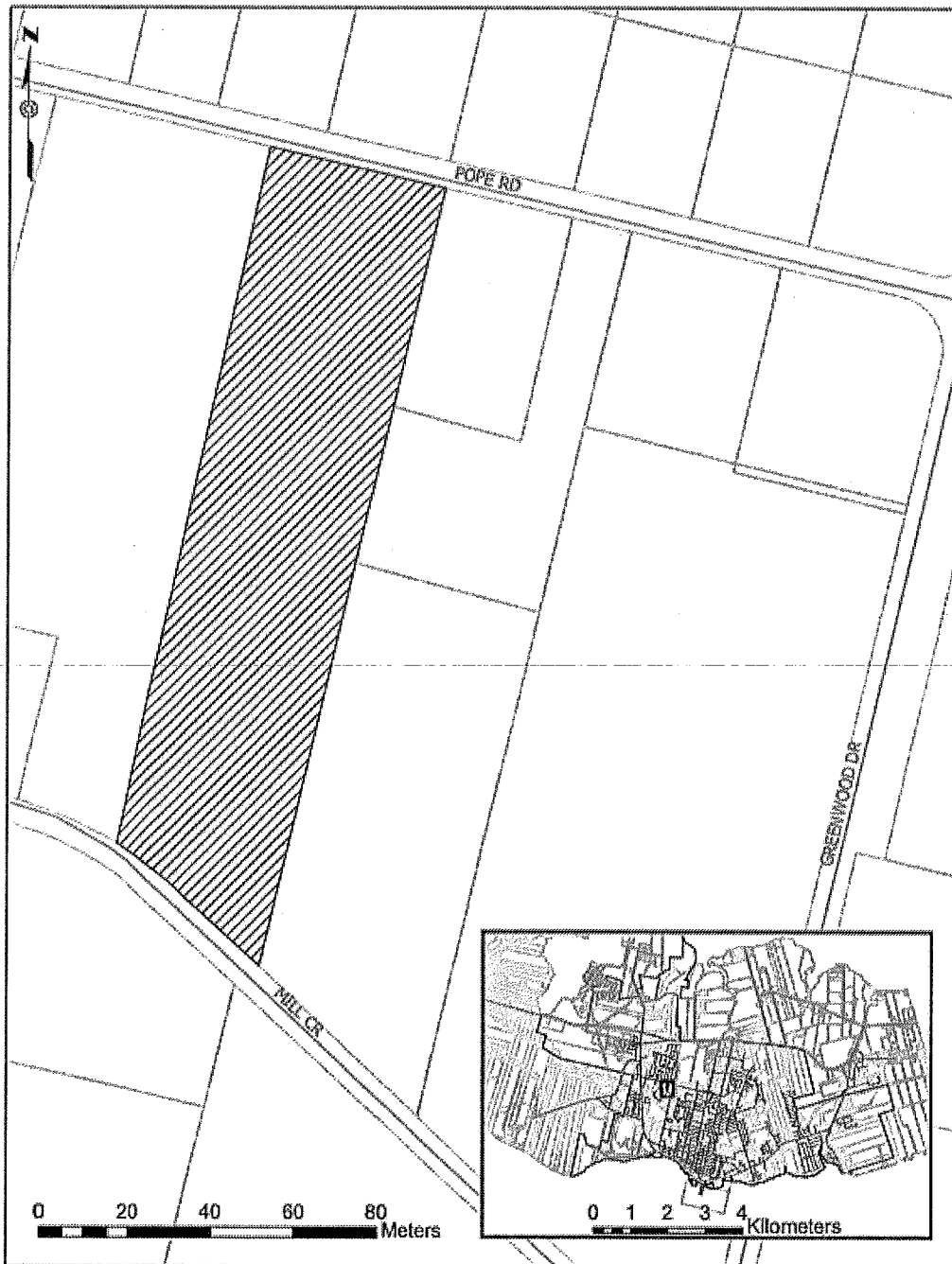
Linda Stevenson
Development Officer

c. JP Desrosiers, Acting CAO
Aaron MacDonald, DTS

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